



MASTER BUILDER

#129, 625 PARSONS ROAD S.W.
EDMONTON, ALBERTA
T6X 0N9
PH: (780) 436-8118

HOUSTON - PORTER RESIDENCE

86 JUBILATION DRIVE
L 7, B 18, P 242-2448
ST. ALBERT
JENSEN LAKE 3

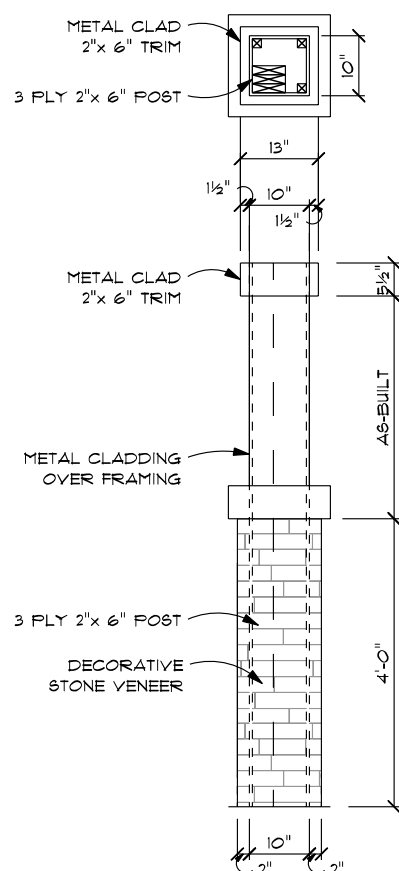
25055JLP
WESTPORT 32'
EXECUTIVE 2025 VER.10

REVISIONS		
No.	DATE	DESCRIPTION
1		

WOOD BRACKETS CLAD IN ALUMINUM
NOTE: WILL REQUIRE BACKER BLOCKS

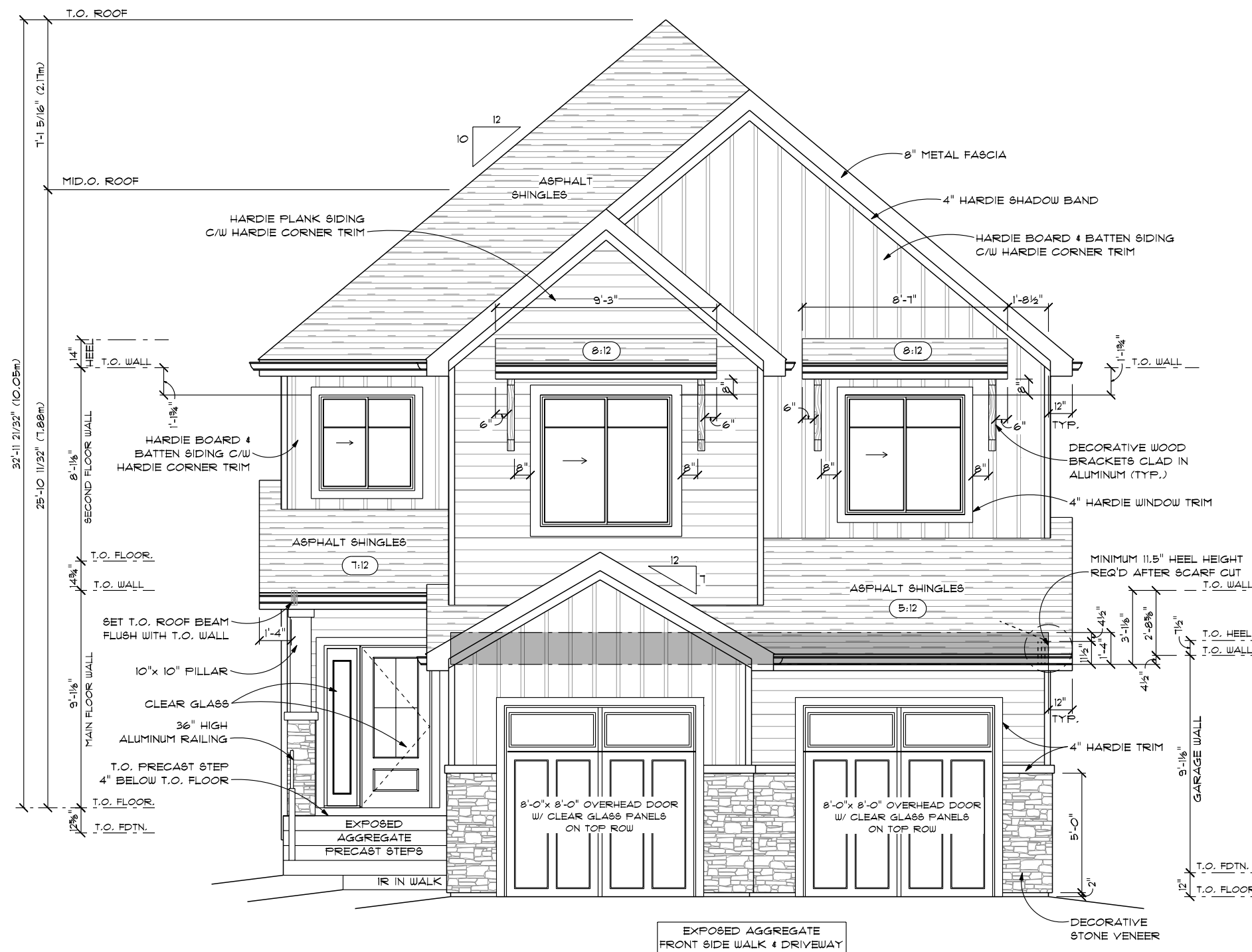
DECORATIVE BRACKET

(IF APPLICABLE)
SCALE: 3/8" = 1'-0"



STANDARD PILLAR

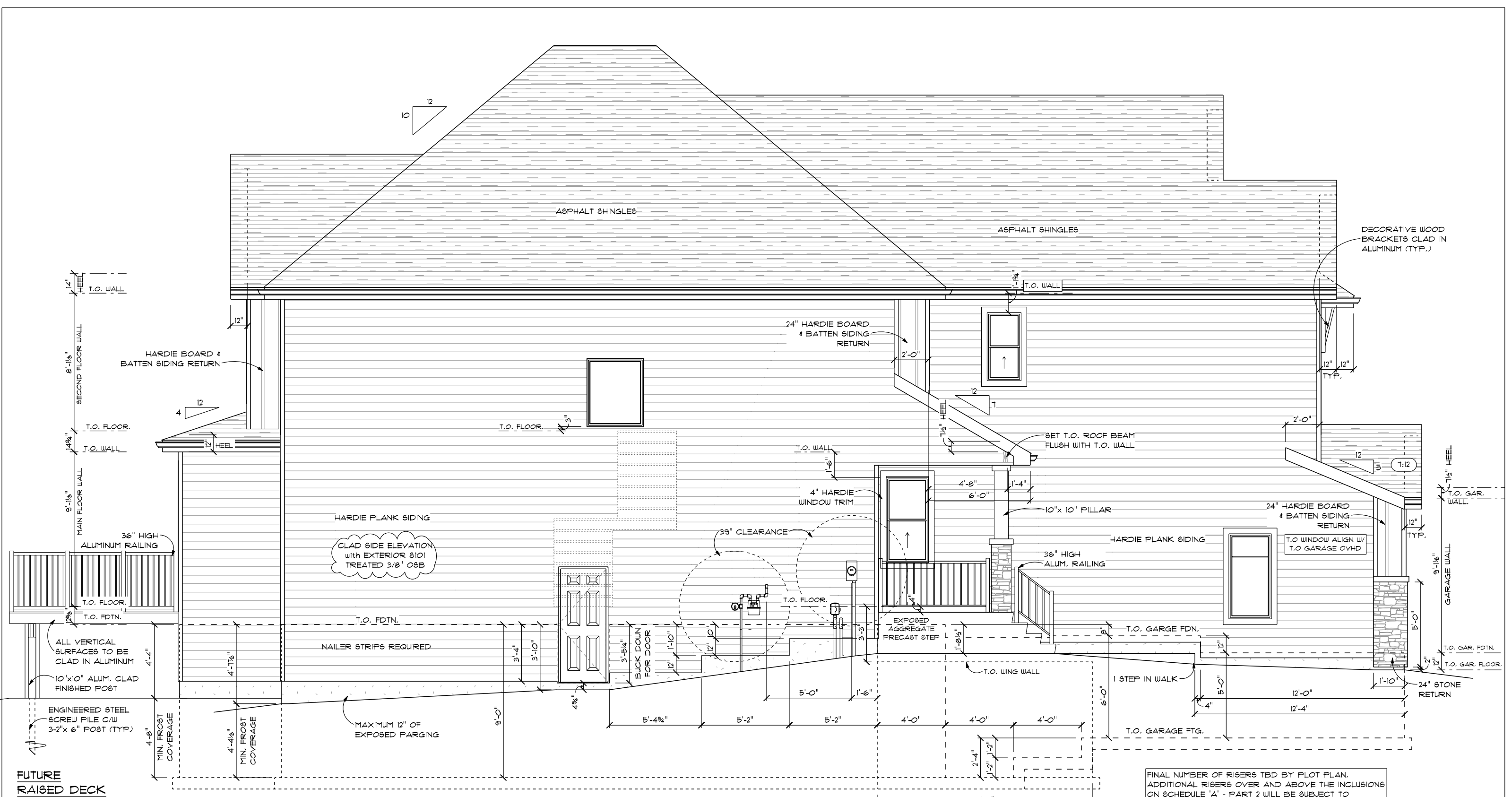
SCALE: $3/8" = 1'-0"$



FRONT ELEVATION

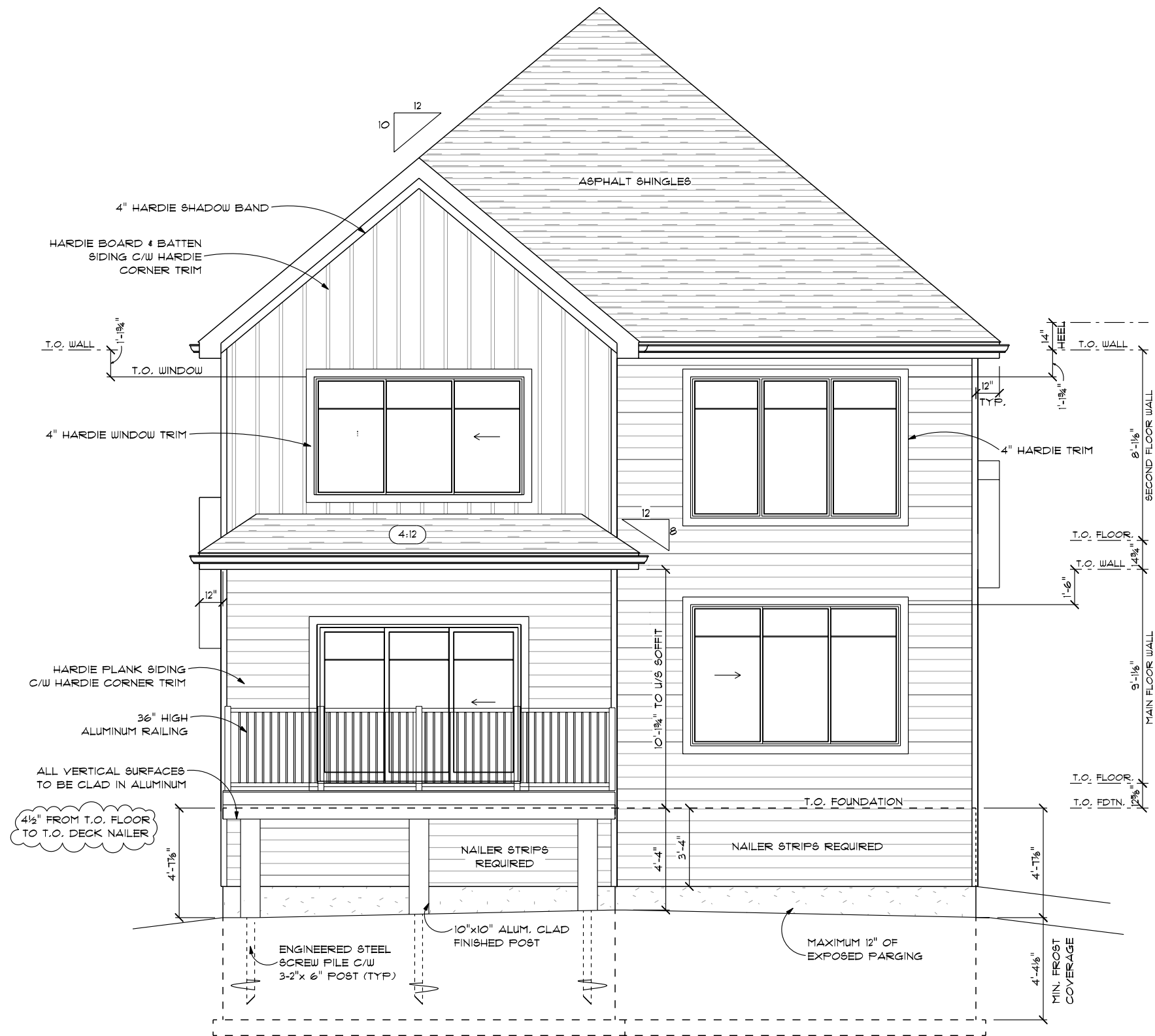
SCALE: 3/16" = 1'-0"
STONE COVERAGE = 62 SQ.FT.
JENSEN LAKES - COASTAL FARMHOUSE

SUMP TIE-IN REQ'D/
RWL TIE-IN TO BE CONFIRMED
FOR THIS LOT



LEFT ELEVATION

<div><div>Parkwood MASTER BUILDER</div></div>	<div>This house plan is the exclusive property of Parkwood Master Builder Ltd., Edmonton, Alberta. All rights are reserved including rights of reproduction in part or in whole, in any form without the written permission of Parkwood Homes Master Builder Ltd.</div>	Customer:	HOUSTON - PORTER RESIDENCE	Civic Address:	86 JUBILATION DRIVE ST. ALBERT JENSEN LAKES	IF IN DOUBT.....PLEASE ASK!!		Scale: 3/16" = 1'-0"	Area: 3059 SQ.FT	Job No.: 25055JLP	2 OF 12
		Legal Address:	L 1, B 18, P 242-2448			REFER TO ENGINEERING, TRUSS SYSTEM and FLOOR SYSTEM DESIGN DRAWINGS for FOUNDATION and FRAMING SPECIFIC DETAILS.	Released for Construction Date: STAMP DATE Rev. Date: Rev. No: Master Info: AN 10.24.2024 REV. #0	Drawn By: AN Dwg. Date: 06/24/2025 Print Date: 07/17/2025	Spec.: EXECUTIVE 2025 VER.1.0 Elev.: COASTAL FARMHOUSE Model: WESTPORT 32'		



**FUTURE
RAISED DECK**

- 5/4" x 6" TREATED DECKING ON
- 2x8 A.W.W JOISTS @ 16" O/C
- C/W MID-SPAN BRIDGING ON
- 3-PLY 2x8 A.W.W. DROPPED BEAM
- SLOPE DECK FOR DRAINAGE

NOTE:

- DECK NAILER TO BE INSTALLED BY THE BUILDER
- DECK & PILES & RAILING TO BE INSTALLED AND BUILT TO MEET CODES & ARCHITECTURAL REQUIREMENT BY HOMEOWNERS AFTER HOME POSSESSIONS

REAR ELEVATION

SCALE: 3/16" = 1'-0"

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Dwg. Date: 06/24/2025

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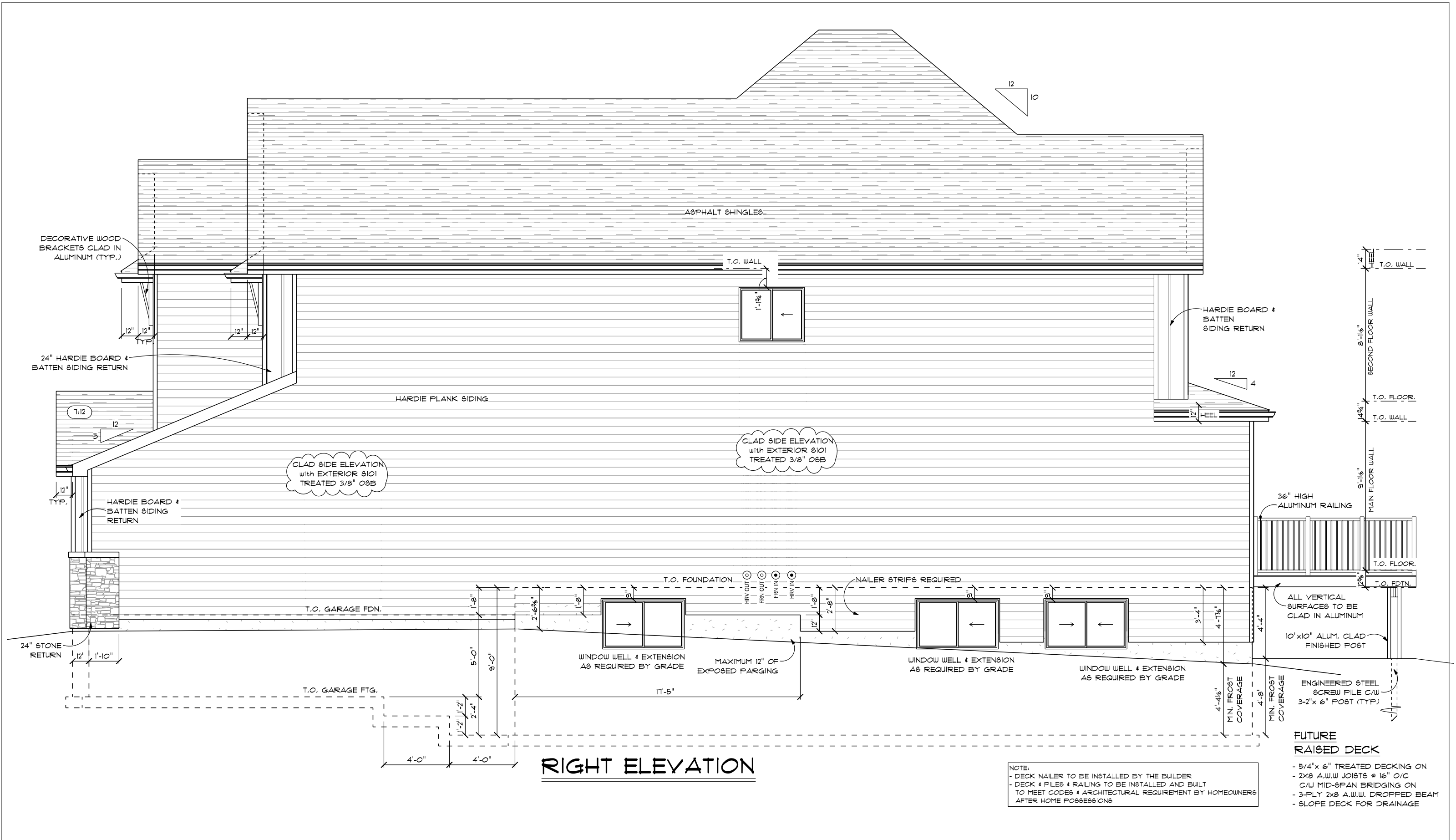
Area: 3059 SQ.FT

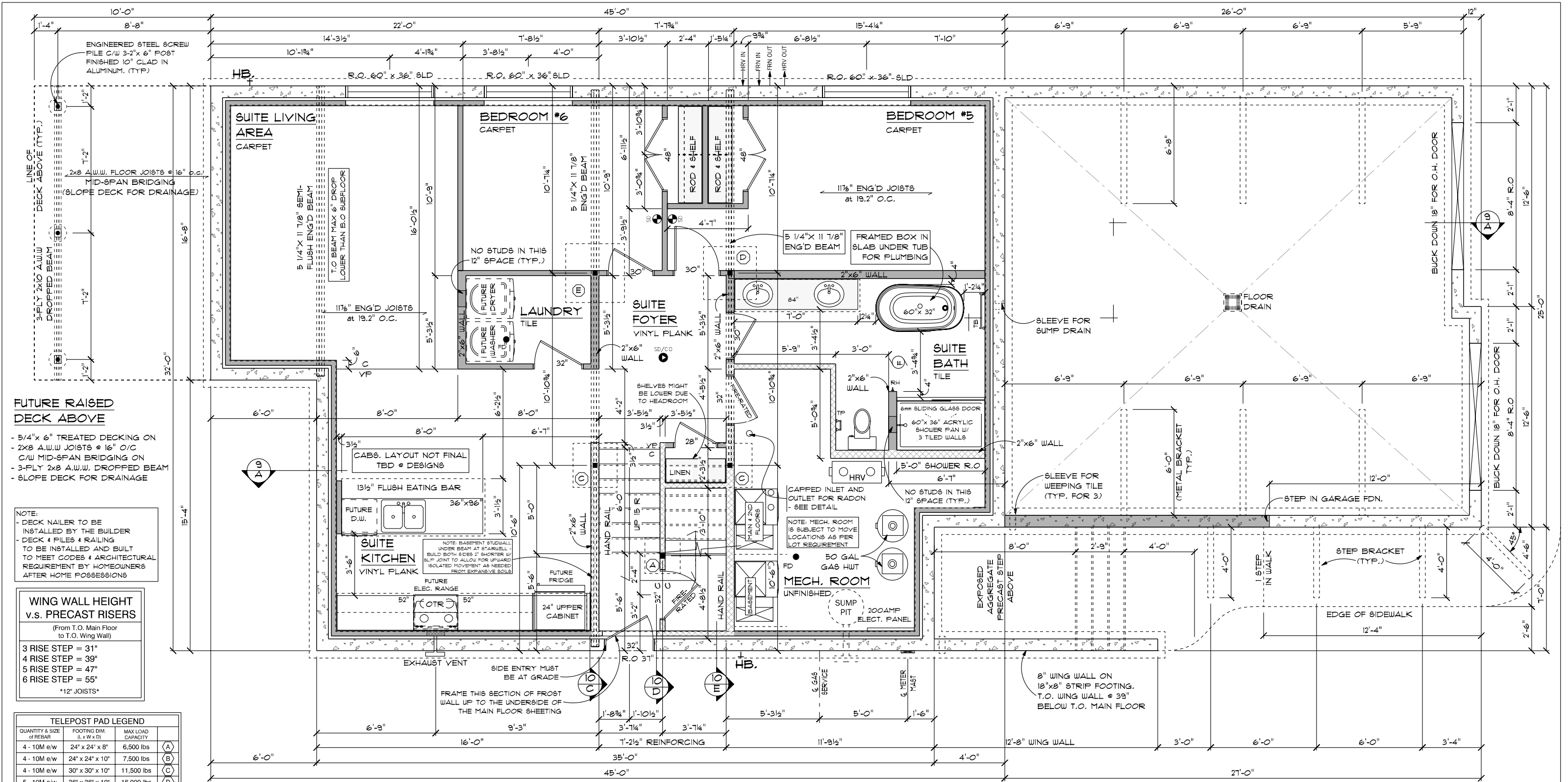
Spec.: EXECUTIVE 2025 VER.1.0

Elev.: COASTAL FARMHOUSE

Model: WESTPORT 32'

Job No.: 25055JLP





FUTURE RAISED DECK ABOVE

- 5/4" x 6" TREATED DECKING ON
- 2x8 A.W.W. JOISTS @ 16" O.C.
- C/W MID-SPAN BRIDGING ON
- 3-PLY 2x8 A.W.W. DROPPED BEAM
- SLOPE DECK FOR DRAINAGE

NOTE:

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WING WALL HEIGHT v.s. PRECAST RISERS

(From T.O. Main Floor to T.O. Wing Wall)

3 RISE STEP = 31"
4 RISE STEP = 39"
5 RISE STEP = 47"
6 RISE STEP = 55"

12" JOISTS

TELEPOST PAD LEGEND			
QUANTITY & SIZE OF REBAR	FOOTING DIM. (L x W x D)	MAX LOAD CAPACITY	
4 - 10M e/w	24" x 24" x 8"	6,500 lbs	(A)
4 - 10M e/w	24" x 24" x 10"	7,500 lbs	(B)
4 - 10M e/w	30" x 30" x 10"	11,500 lbs	(C)
5 - 10M e/w	36" x 36" x 10"	16,000 lbs	(D)
6 - 10M e/w	40" x 40" x 10"	20,000 lbs	(E)
6 - 10M e/w	44" x 44" x 10"	25,000 lbs	(F)
7 - 10M e/w	48" x 48" x 10"	30,000 lbs	(G)
7 - 10M e/w	52" x 52" x 10"	35,000 lbs	(H)

WALL LEGEND

W1d - 2x4 STUDS @ 24" O.C.
- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD ON EACH SIDE

W3b - 2x4 STUDS @ 16" O.C. C/W 3 1/2" ACOUSTIC BATT INSULATION IN CAVITY
- RESILIENT METAL CHANNELS @ 24" O.C.
- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD ON EACH SIDE
(REFER TO TABLE 9.10.3.1.-A)

WALL TYPE

WOOD FLOOR JOIST ASSEMBLY

F8d - 3/4" PLYWOOD
- 11 1/8" WOOD JOIST @ 19.2" O.C. C/W 3 1/2" ACOUSTIC BATT INSULATION IN CAVITY
- RESILIENT METAL CHANNELS @ 24" O.C.
- 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE
(REFER TO TABLE 9.10.3.1.-B)

FLOOR TYPE

BASEMENT CEILINGS IN SECONDARY SUITE & COMMON AREA TO BE 5/8" TYPE X GYPSUM BOARD ON RESILIENT METAL CHANNELS SPACED @ 24" O.C. WITH 3 1/2" ACOUSTIC BATT INSULATION IN CAVITY

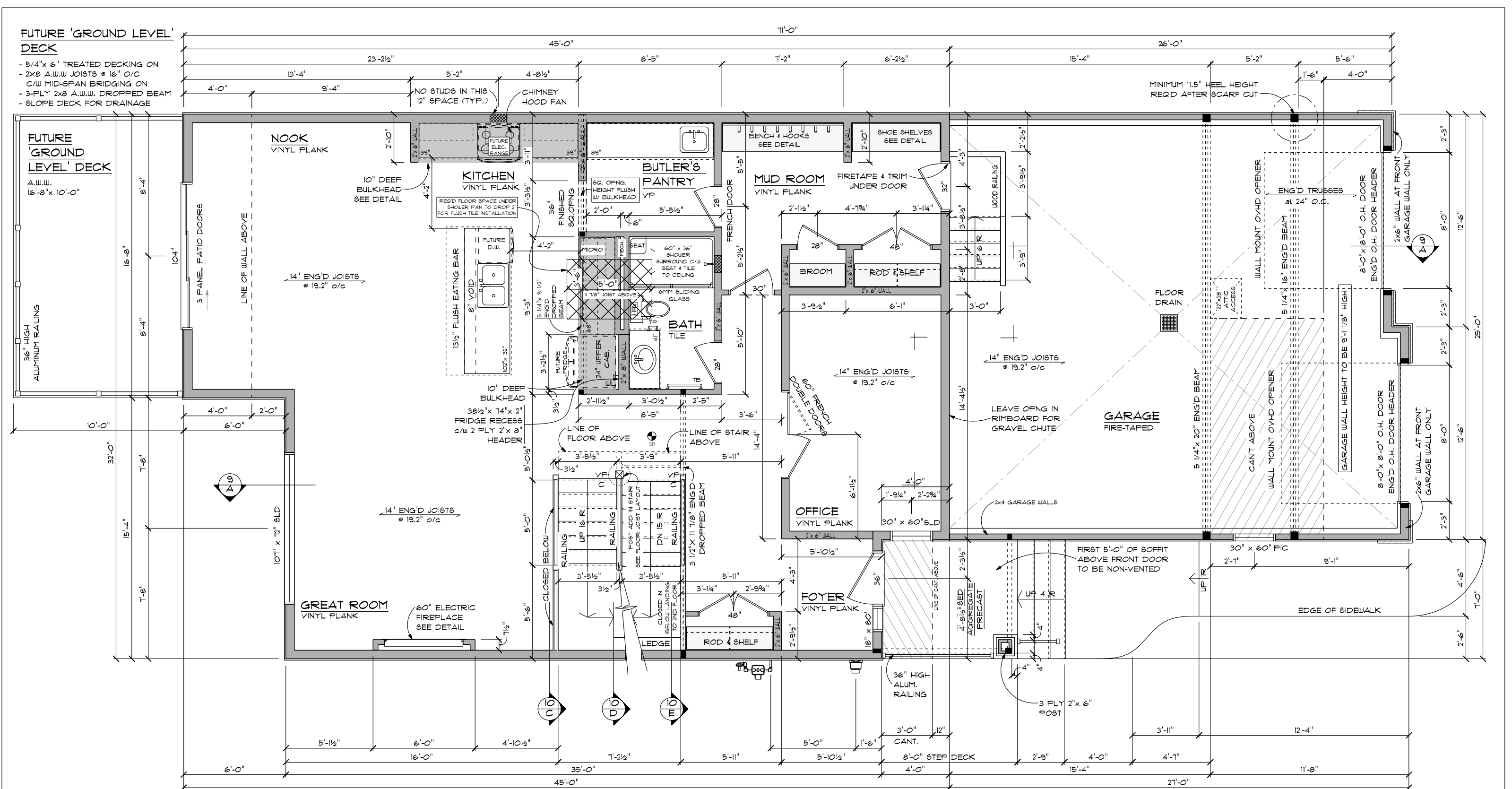
CEILINGS IN FURNACE ROOM TO BE OF 5/8" TYPE 'X' GWB (FIRE-TAPED)

FOUNDATION WALL HEIGHT TO BE 8'-9" TO T.O. SLAB

FOUNDATION PLAN

B'SMT SLAB: 1219.1 sq ft.
GARAGE SLAB: 621.9 sq ft.
FUTURE B'SMT.
DEV. EXC. STAIRS: 985.4 sq ft.
STAIR DEV.: 83.1 sq ft.

TELEPOST PAD TYPE

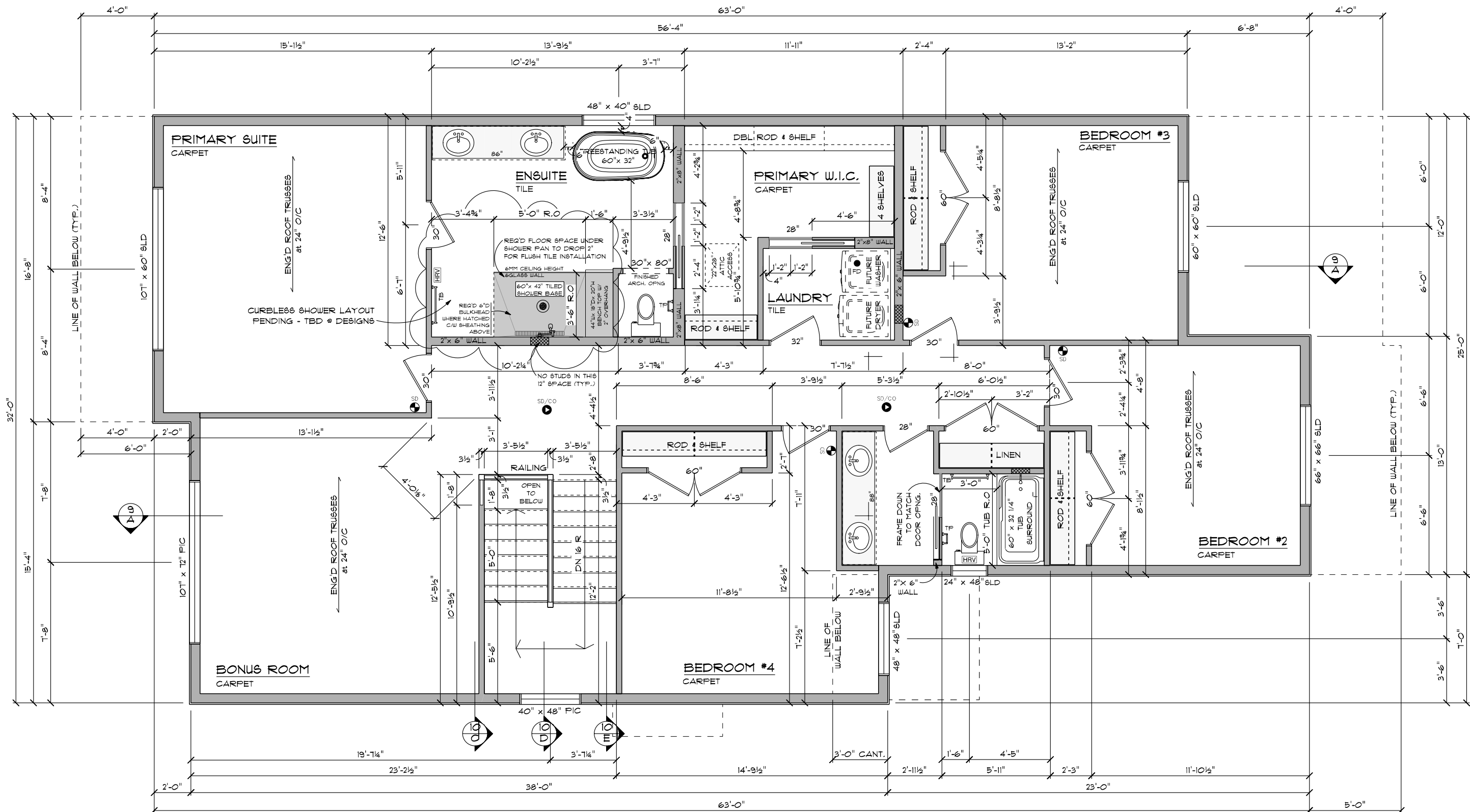


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MAIN FLOOR PLAN : BUTLER'S PANTRY

MAIN FLOOR AREA: 1317 sq ft.
GARAGE AREA: 662 sq ft.
STAIR DEV: 81.7 sq.ft.

EXPOSED AGGREGATE SIDEWALK & DRIVEWAY



SECOND FLOOR PLAN

FLOOR AREA: 1660 sq ft.



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Dwg. Date: **06/24/2025**

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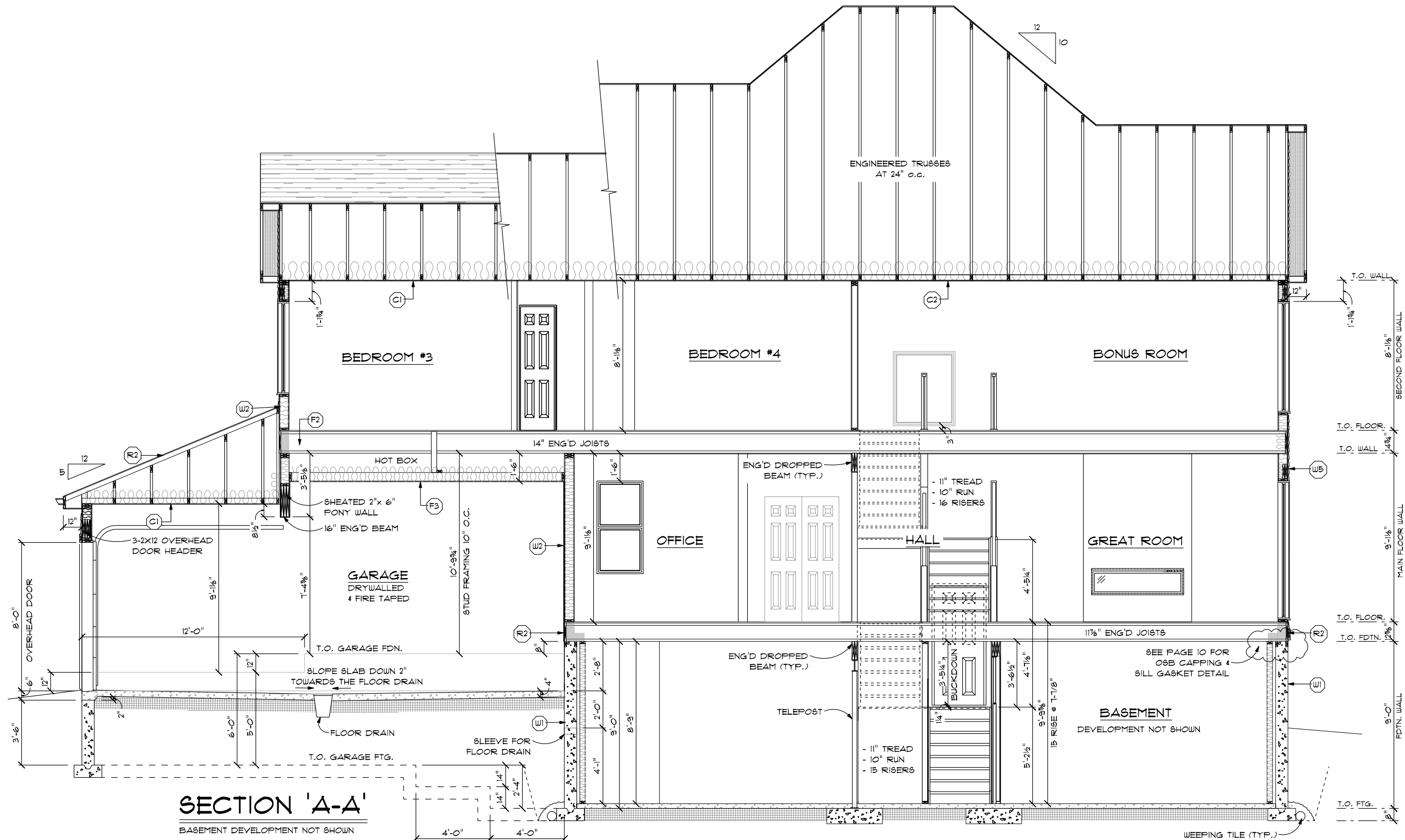
Area: **3059 SQ.FT**

Spec.: **EXECUTIVE 2025 VER.1.0**

Elev.: **COASTAL FARMHOUSE**

Model: **WESTPORT 32'**

7 OF **12**



SECTION 'A-A'
BASEMENT DEVELOPMENT NOT SHOWN

A.B.C. SECTION 9.36 ENERGY
CODE ASSEMBLY TYPE
(REFER TO DETAIL SHEETS)
PERFORMANCE PATH

NOTE: STAIRS, HANDRAILS &
GUARDS MEET NBC 2019 (AE)
9.8 REQUIREMENTS.

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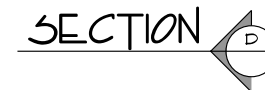
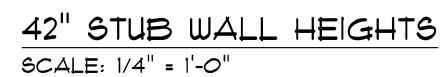
Job No.: **25055JLP**



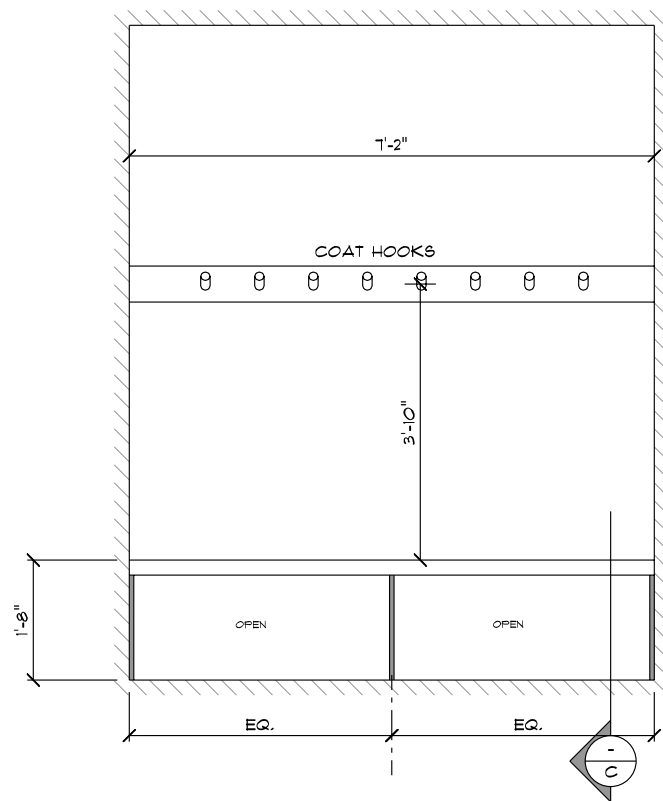
1. ALL INTERIOR CONCRETE SLABS THAT COME IN CONTACT WITH GROUND SHALL BE OVER A GAS PERMEABLE MATERIAL MADE UP OF A MINIMUM OF 4" THICKNESS OF CLEAN, COARSE GRAVEL RANGING IN SIZE FROM 1/2" to 3/4" WITH NO FINES.
2. GRAVEL LAYER IS TO BE overlain WITH A SOIL-GAS RETARDER MEMBRANE OF 6 MIL POLYETHYLENE SHEETING. SHEETING IS TO BE CONTINUOUS OVER GRAVEL BED WITH SEAMS OVERLAPPED A MINIMUM OF 12".
3. ALL OPENINGS, GAPS OR JOINTS IN CONCRETE SLAB, INCLUDING GAPS AROUND PIPES AND DRAIN PENETRATIONS, SHALL BE SEALED WITH A LOW V.O.C. POLYURETHANE CAULKING OR EQUIVALENT.
4. ROUGHED IN VENT PIPING SHALL BE 4" DIAMETER PVC PIPING EXTENDING 6" ABOVE THE FLOOR AND c/w SEALED CAP.
5. VENT PIPING CAP IS TO BE CLEARLY LABELLED WITH THE WORDING 'RADON'.
6. SUMP COVER TO BE AIR TIGHT.
7. WHERE DESIGNATED PLAN LOCATION FOR THROUGH-FLOOR TEE EXCEEDS 24" FROM CENTRE OF BASEMENT FLOOR PROVIDE 4" PVC VENT PIPE EXTENSION FROM TEE TO APPROXIMATE CENTRE OF BASEMENT FLOOR.



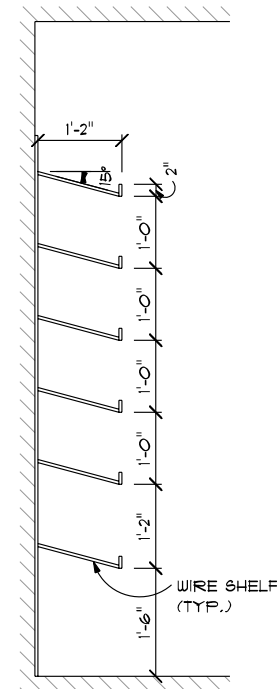
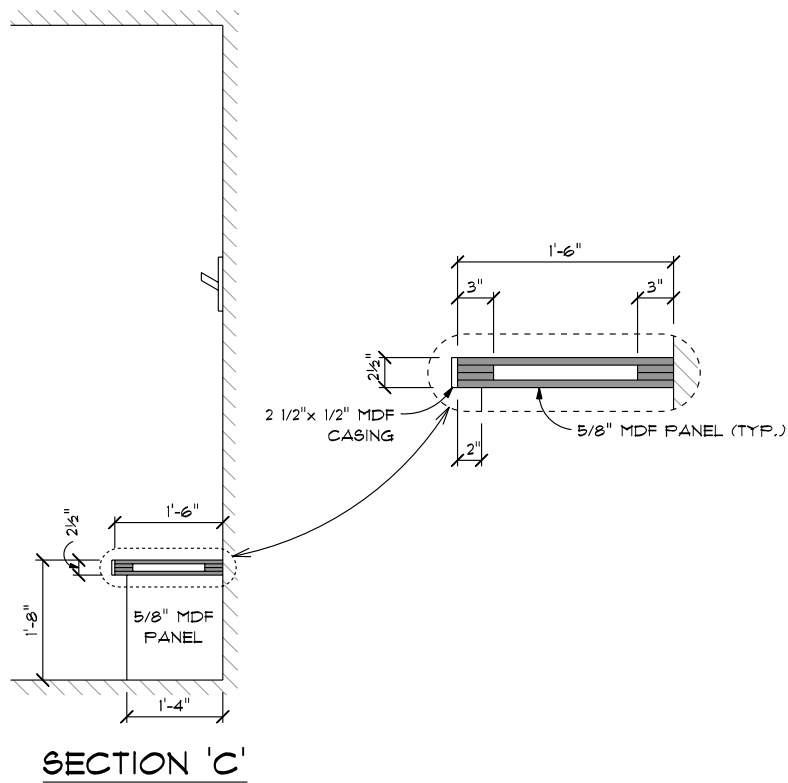
SCALE: 1/2" = 1'-0"



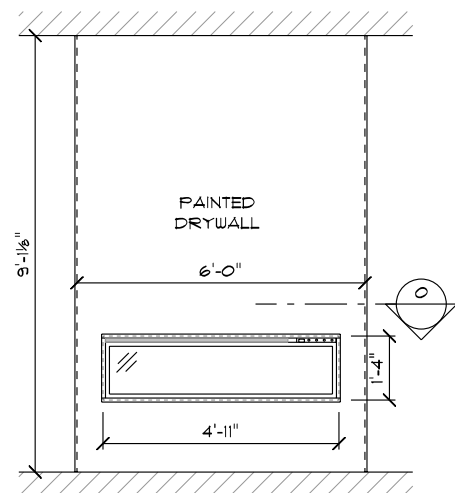
STAIR RAILING DETAILS



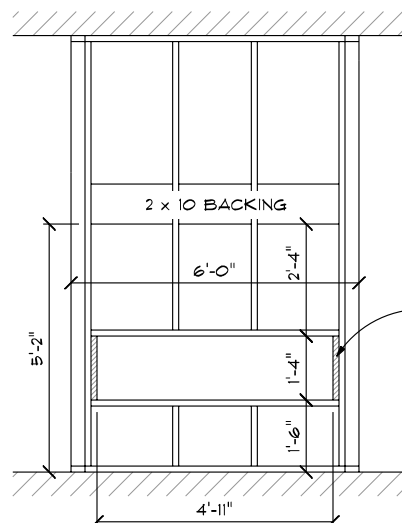
MUDROOM BENCH DETAIL
SCALE: 3/8" = 1'-0"



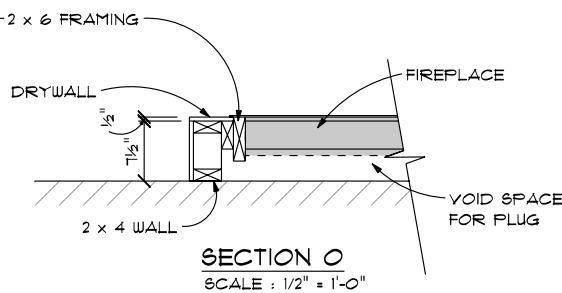
SHOE SHELVES DETAIL
SCALE: 3/8" = 1'-0"



ELEVATION
SCALE: 1/4" = 1'-0"



FRAMING
SCALE: 1/4" = 1'-0"



SECTION 'O'
SCALE: 1/2" = 1'-0"

FIREPLACE DETAIL

NAPOLEON 60 ENTICE ELECTRIC FIREPLACE (NEFL60CFH)

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Scale: **As Noted**

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Dwg. Date: **06/24/2025**

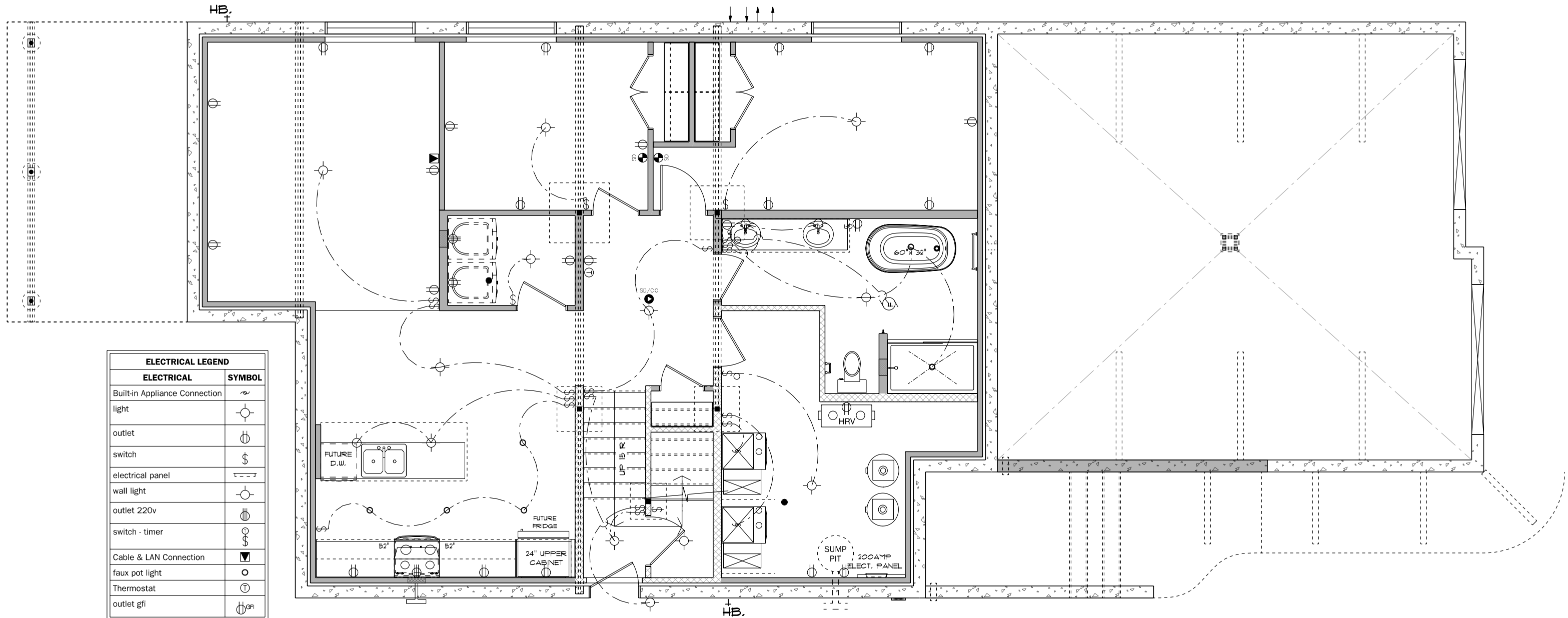
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Area: **3059 SQ.FT** Job No.: **25055JLP**

Spec.: **EXECUTIVE 2025 VER.1.0**

Elev.: **COASTAL FARMHOUSE**

Model: **WESTPORT 32'**



BASEMENT ELECTRICAL PLAN

NOTE:
ELECTRICAL LOCATIONS ARE
APPROXIMATE AND MAY NEED TO BE
ADJUSTED TO ACCOMMODATE FRAMING,
HEATING, PLUMBING, ETC.



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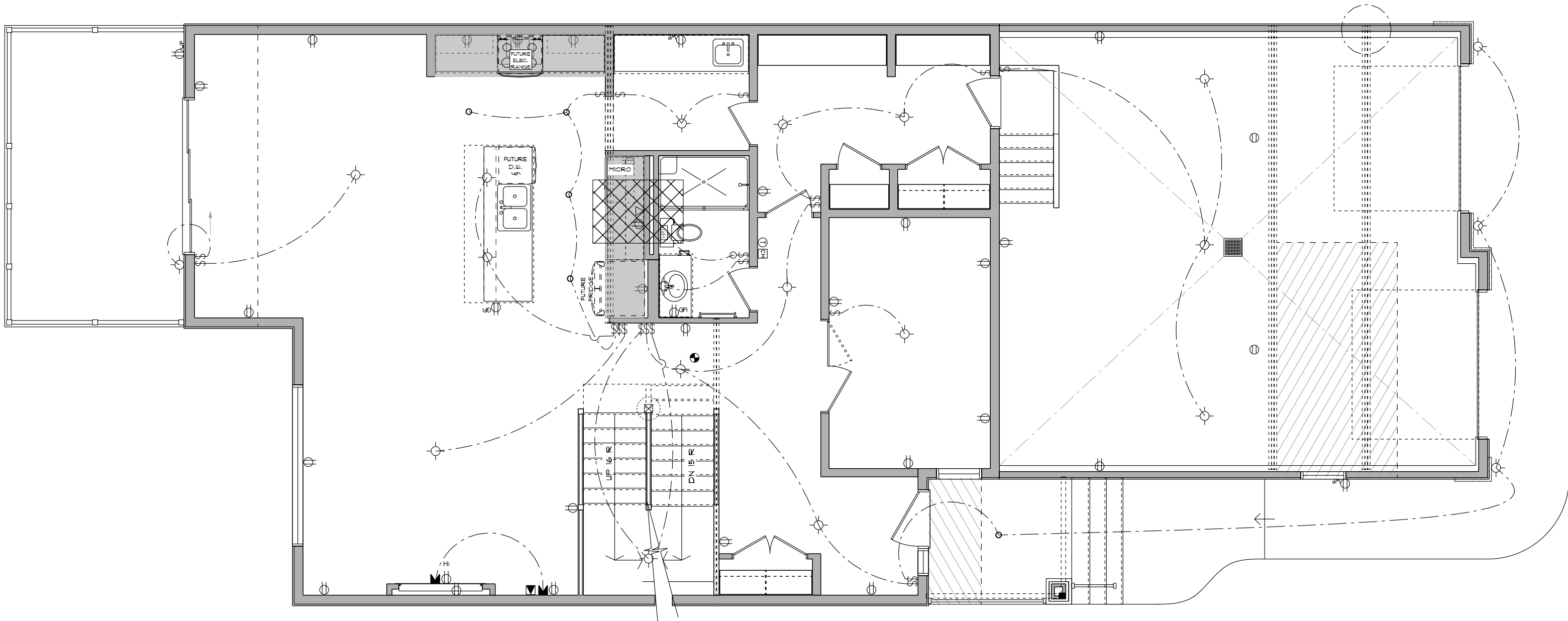
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MAIN FLOOR
ELECTRICAL PLAN

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ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
faux pot light	○
Built-in Appliance Connection	~
Cable & LAN Connection	▼
HRV Inlet	HRV
conduit outlet	■
Thermostat	Ⓢ

ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
ceiling receptacle duplex	⊖
chime	CH
light	⊙
outlet	Ⓢ
outlet 220v	Ⓢ
switch	Ⓢ

ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
switch - timer	Ⓢ
telephone	▽
wall light	⊙
Outlet - duplex Hi	Hi
smoke detector	⊙
outlet gfi	Ⓢ

ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
outlet wp	Ⓢ



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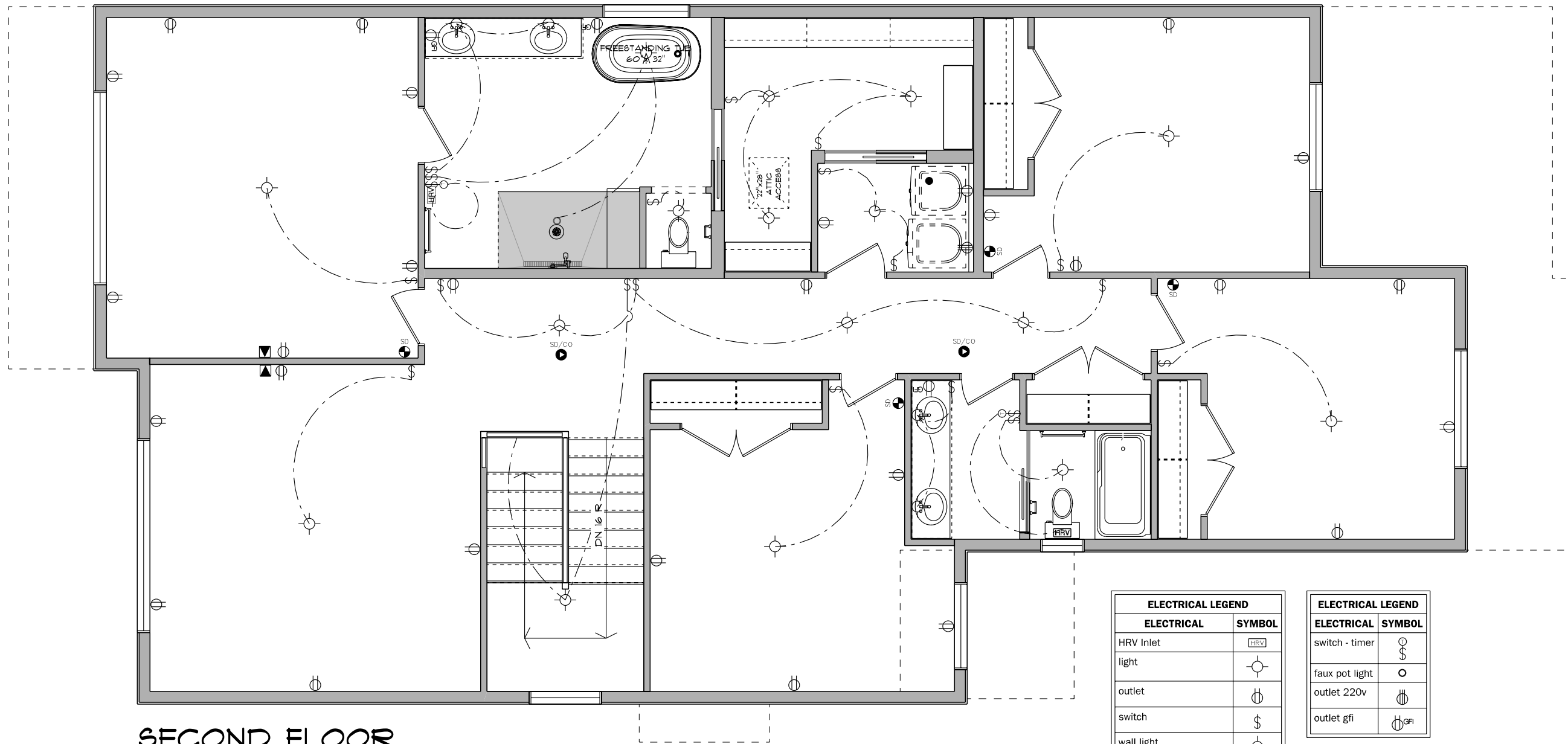
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E2
OF
3



SECOND FLOOR
ELECTRICAL PLAN

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HEATING, PLUMBING, ETC.

ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
HRV Inlet	
light	
outlet	
switch	
wall light	
Cable & LAN Connection	

ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
switch - timer	
faux pot light	
outlet 220v	
outlet gfi	

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