

MASTER BUILDER

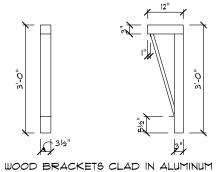
#129, 625 PARSONS ROAD S.W. EDMONTON, ALBERTA T6X ON9 PH: (780) 436-8118

HOUSTON - PORTER RESIDENCE

86 JUBILATION DRIVE L 7, B 18, P 242-2448 ST. ALBERT JENSEN LAKES

25055JLP VESTPORT 32' EXECUTIVE 2025 VERIO

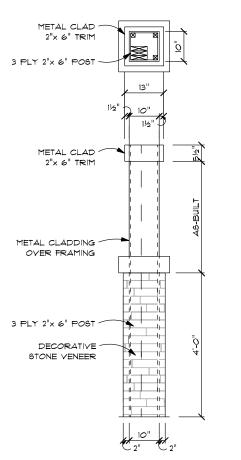
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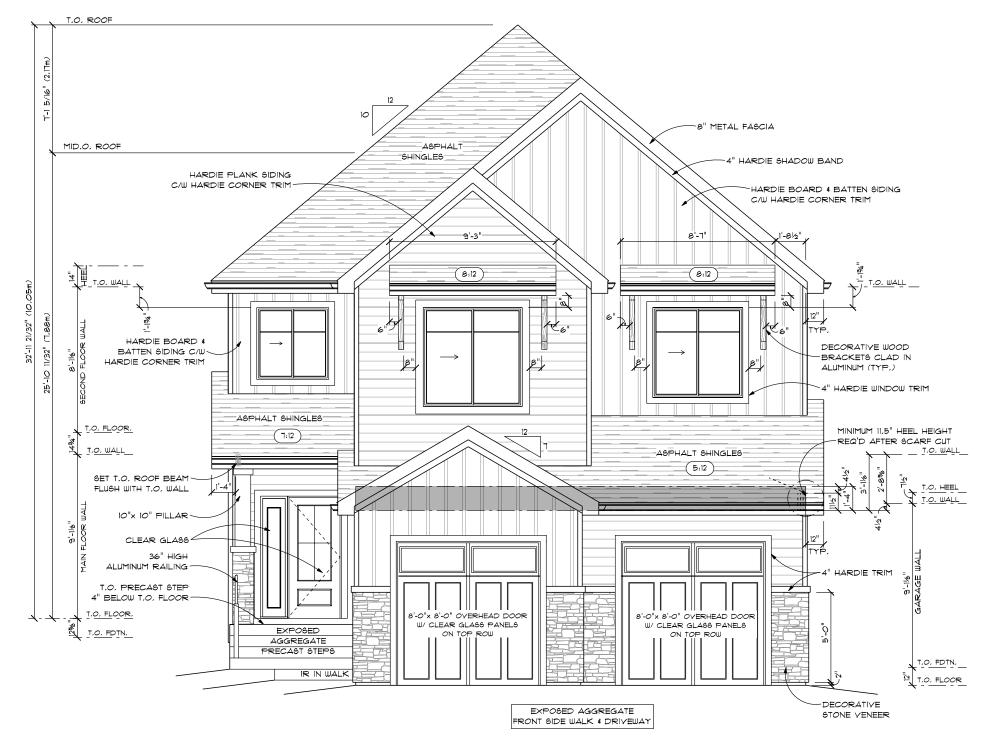
WOOD BRACKETS CLAD IN ALUMINUM NOTE: WILL REQUIRE BACKER BLOCKS

DECORATIVE BRACKET

(IF APPLICABLE) SCALE: 3/8" = 1'-0"







FRONT ELEVATION

9CALE: 3/16" = 1'-0" STONE COVERAGE = 62 9Q.FT, JENSEN LAKES - COASTAL FARMHOUSE SUMP TIE-IN REQ'D/ RWL TIE-IN TO BE CONFIRMED FOR THIS LOT



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86 JUBILATION DRIVE

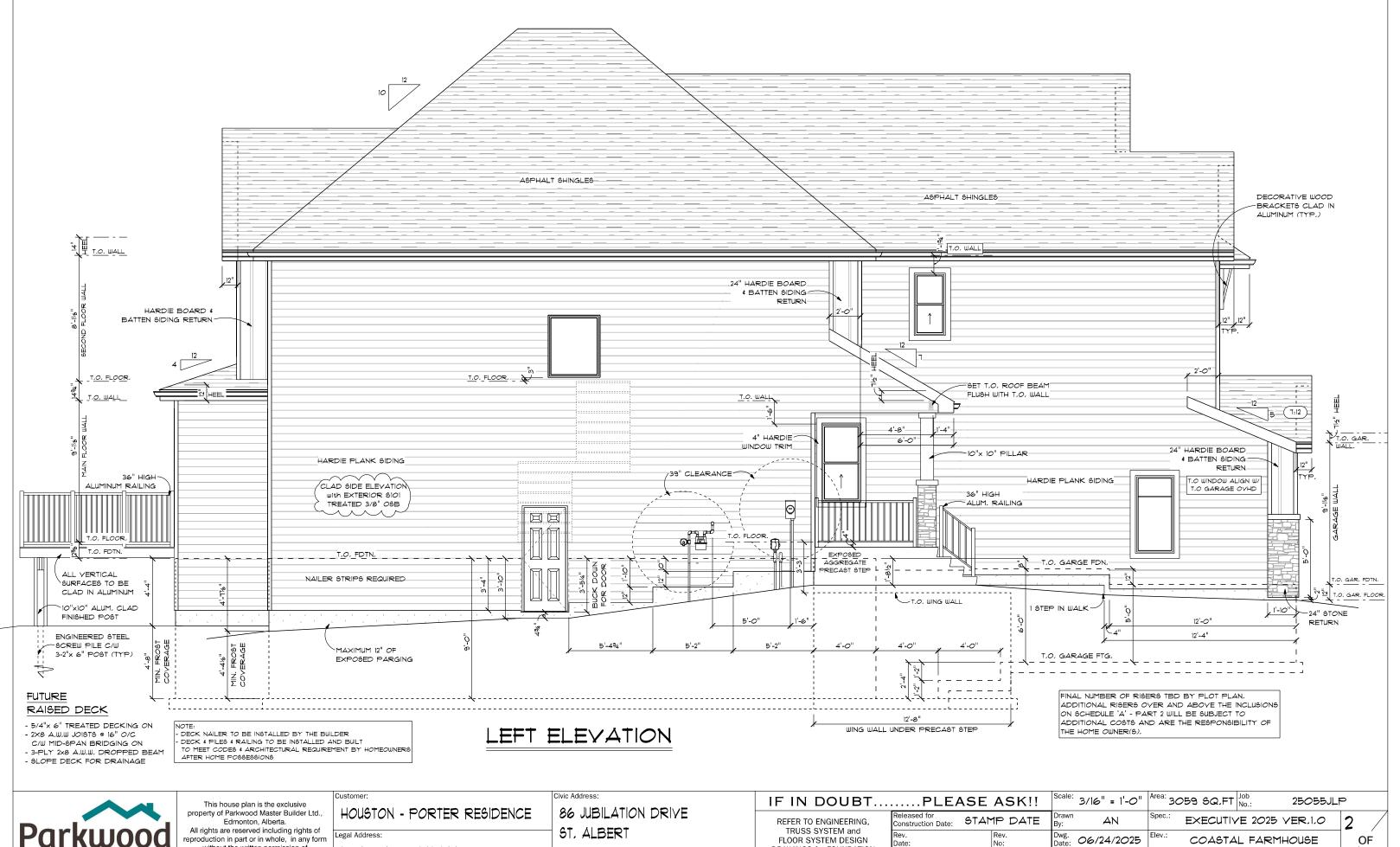
ST. ALBERT

JENSEN LAKES

REFER TO ENGINEERING, TRUSS SYSTEM and FLOOR SYSTEM DESIGN DRAWINGS for FOUNDATION and FRAMING SPECIFIC DETAILS.

IF IN DOUBT...

PLEASE A	SK!!	Scale.	As Noted	^{Area.} 30	59 SQ.FT No.:	25055JLF
Released for Construction Date: STAME		Drawn By:	AN	Spec.:	EXECUTIVE 2025	YER.I.O
Rev. Re No	v. :	Dwg. Date:	06/24/2025	Elev.:	COASTAL FARM	1HOUSE
Master AN 10.24.2024 R		Print Date:	07/17/2025	Model:	WESTPORT	32'





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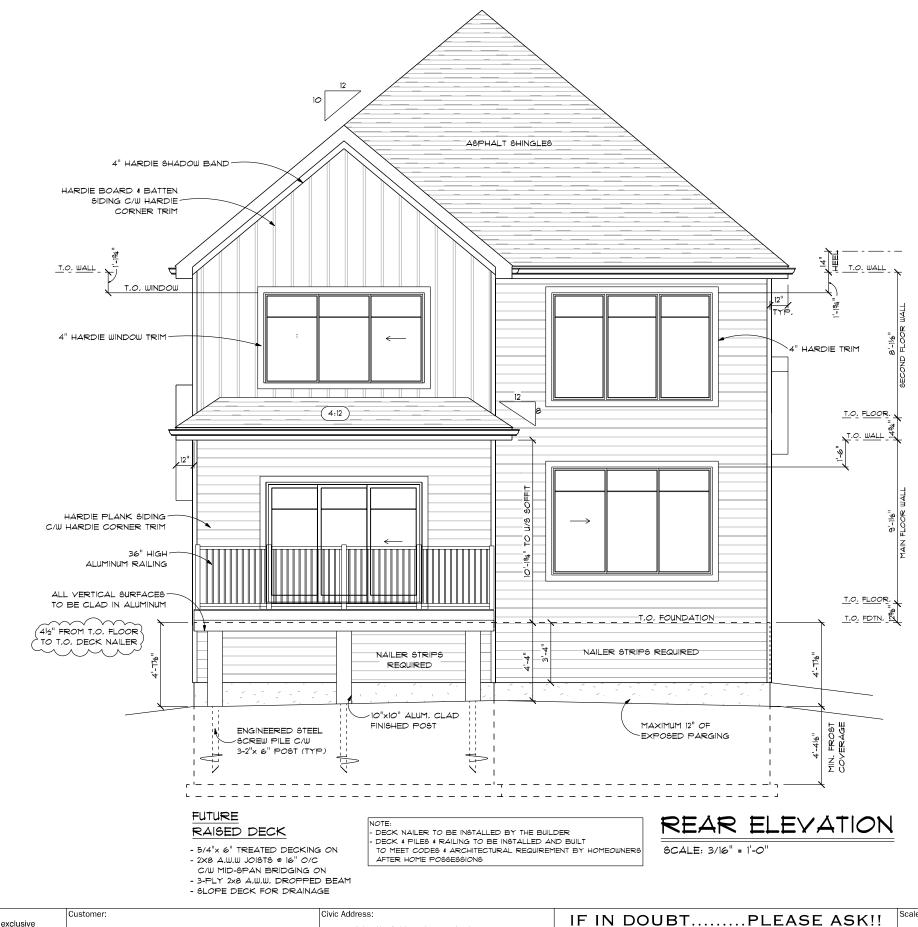
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JENSEN LAKES

DRAWINGS for FOUNDATION and FRAMING SPECIFIC DETAILS.

AN 10.24.2024 REV. #0

07/17/2025 WESTPORT 32'





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Customer:

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JENSEN LAKES

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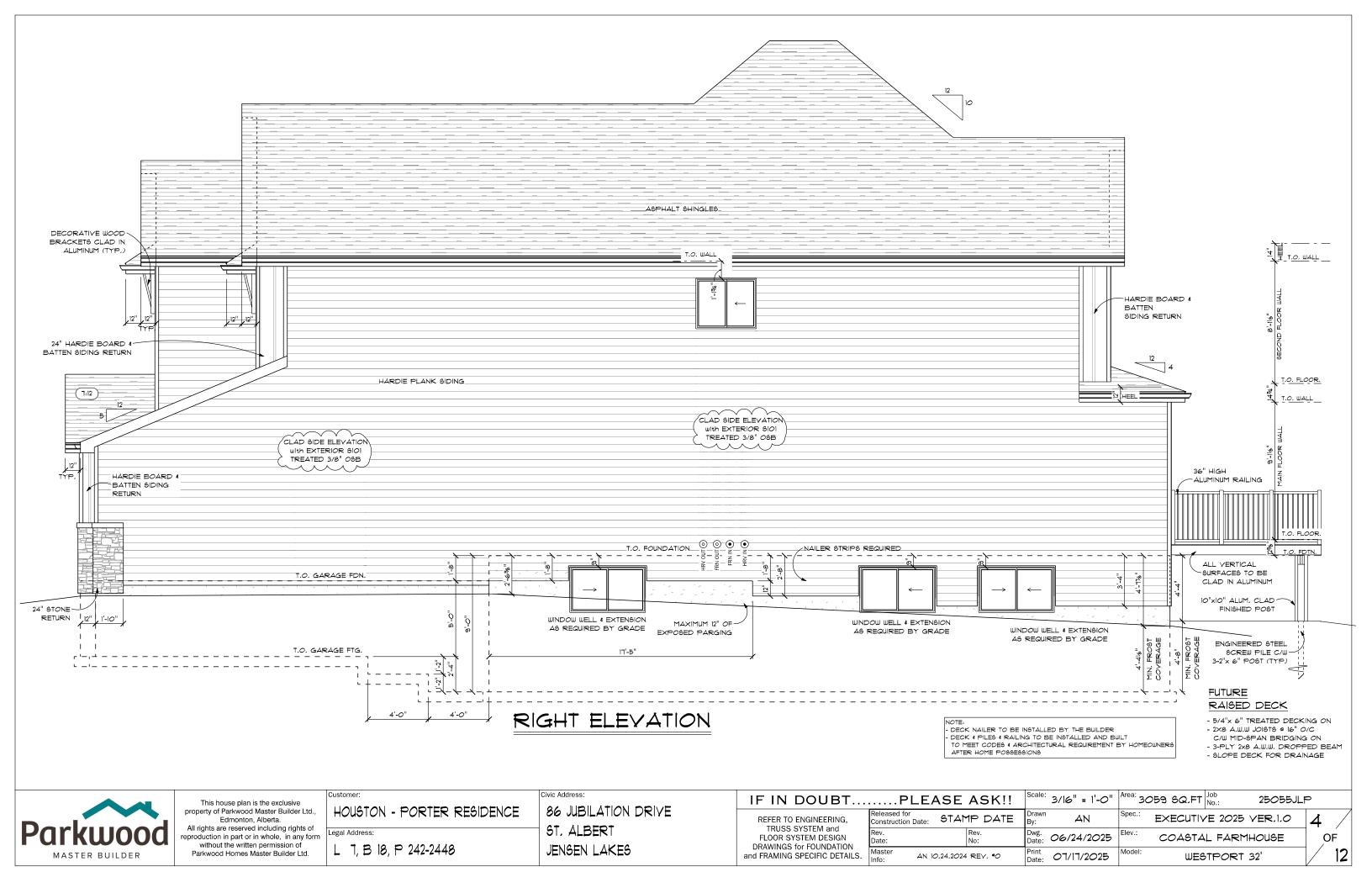
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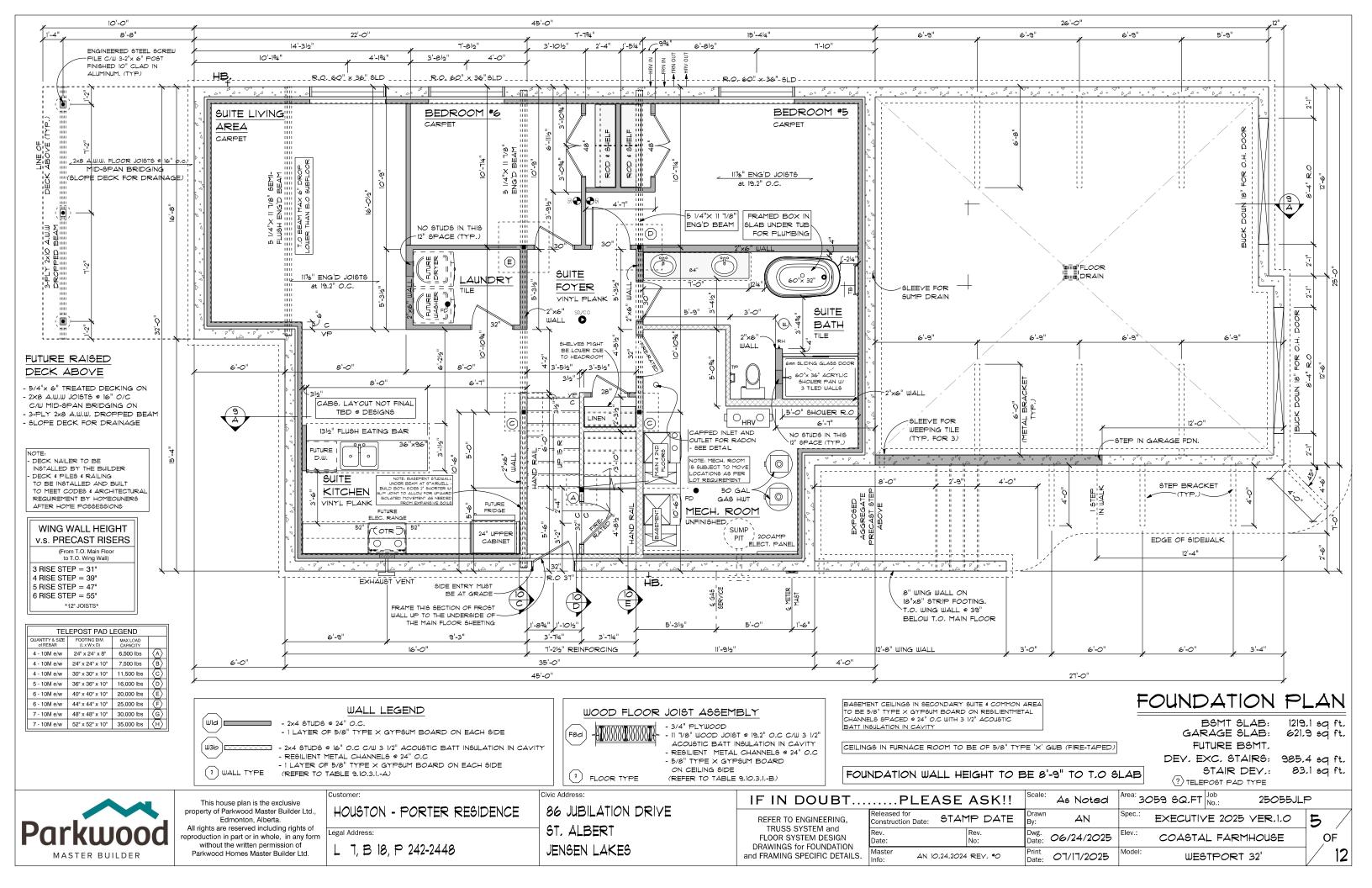
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Rev. Date:	Rev.

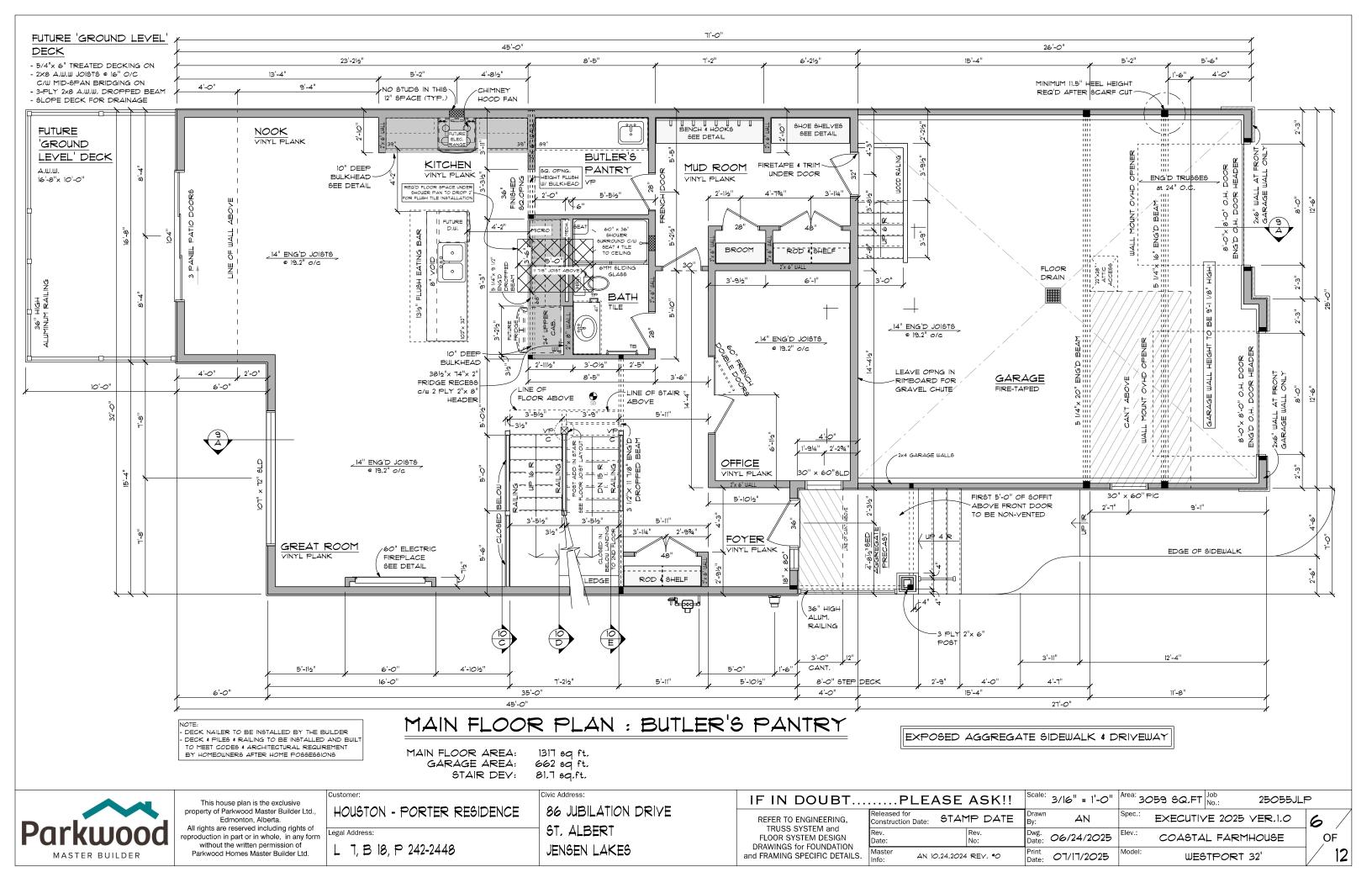
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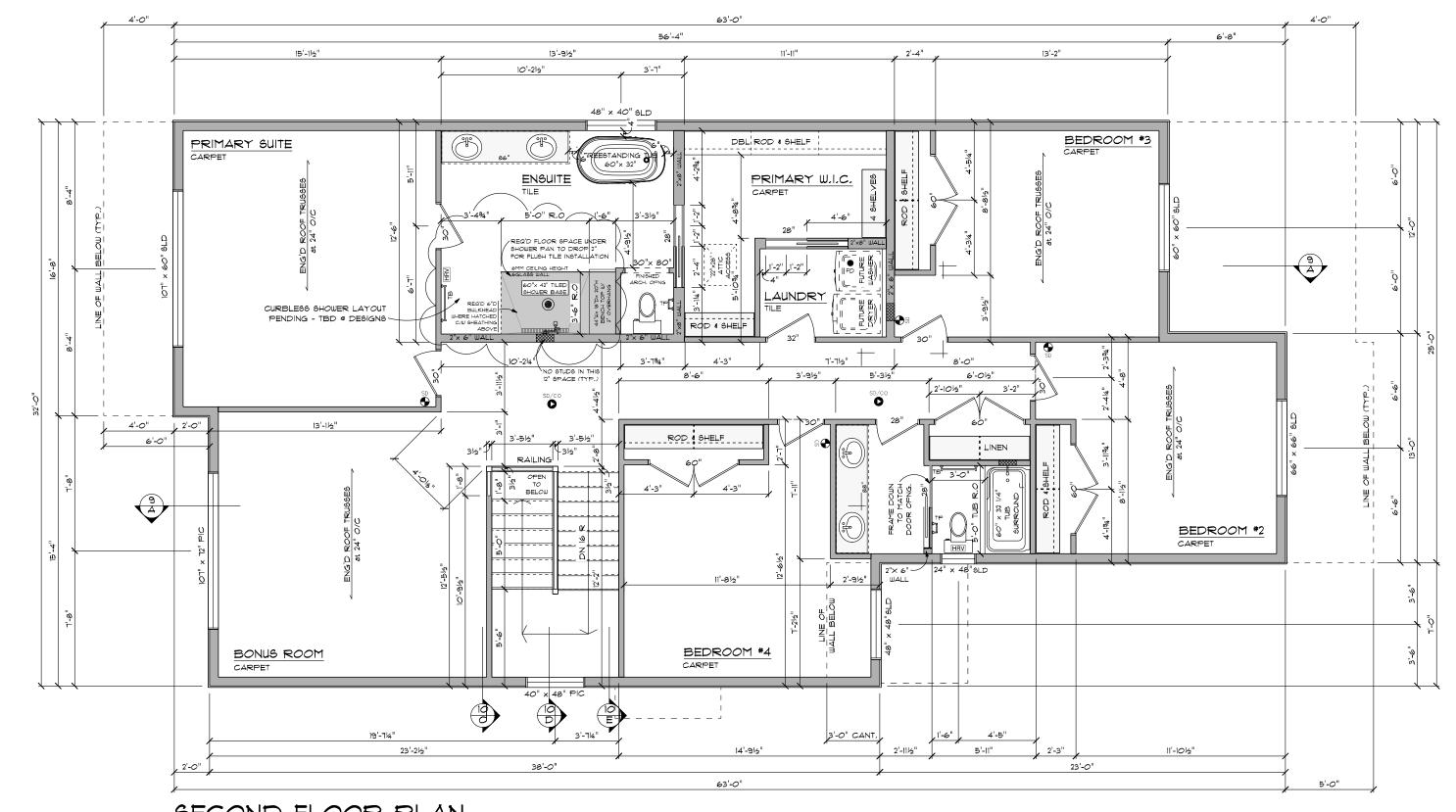
Scale: 3/16" = 1'-0" Area: 3059 SQ.FT No.: EXECUTIVE 2025 YER.I.O ΔN Dwg. Date: 06/24/2025 COASTAL FARMHOUSE 07/17/2025 WESTPORT 32'

3









SECOND FLOOR PLAN

FLOOR AREA: 1660 sq ft.



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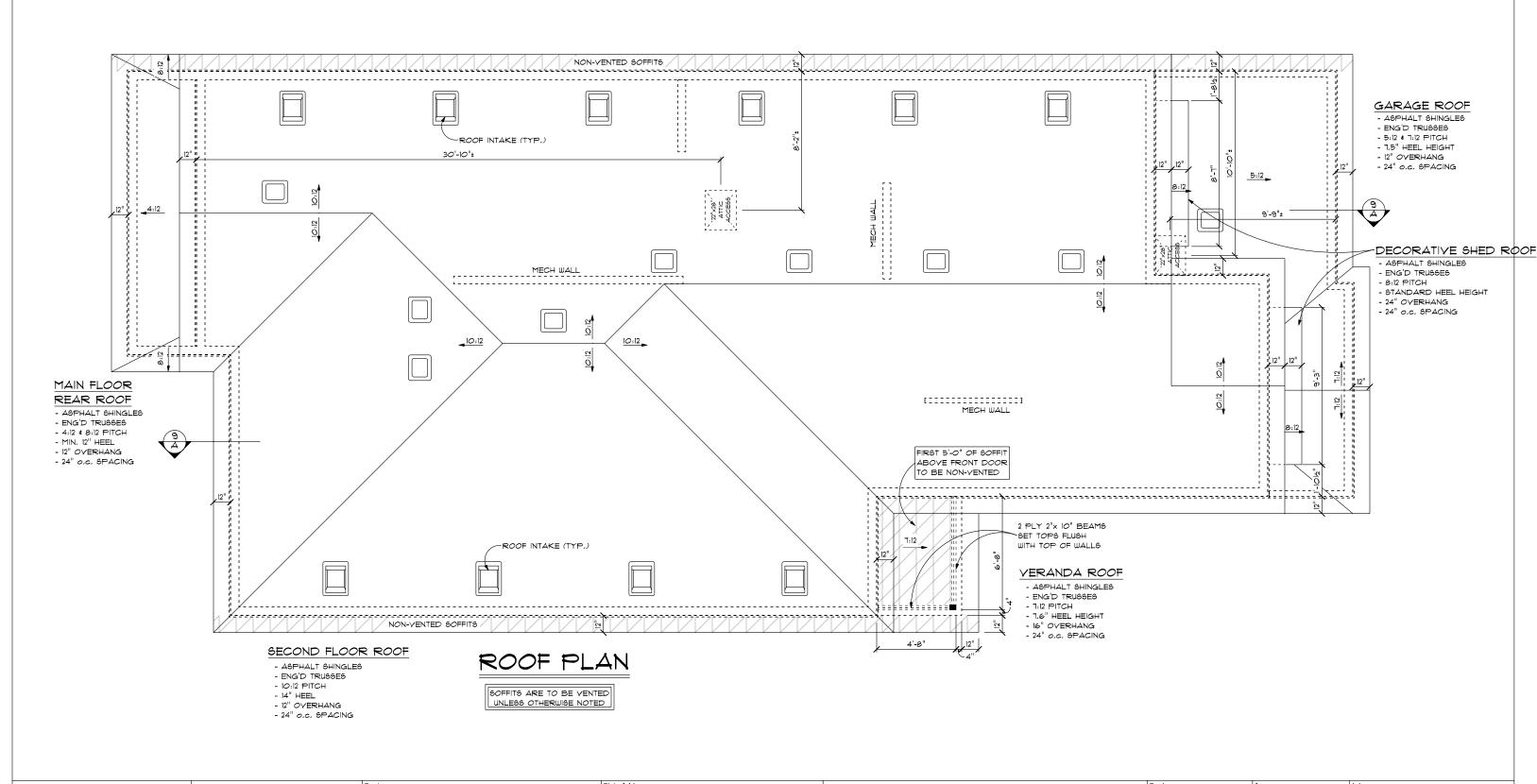
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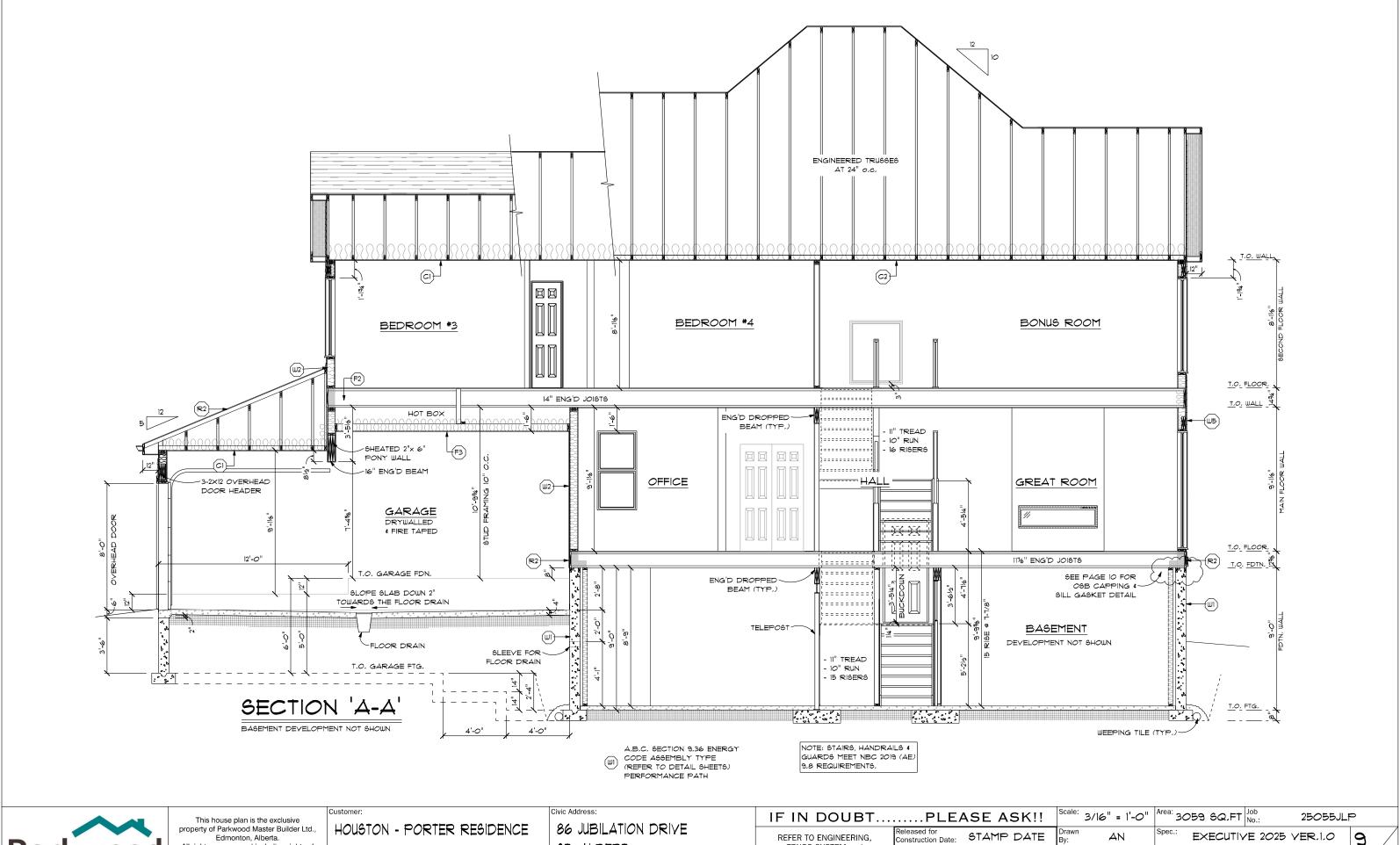
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Scale: 3/16" = 1'-0" Area: 3059 SQ.FT No.: ΑN Dwg. Date: 06/24/2025

07/17/2025

EXECUTIVE 2025 VER.1.0 8 COASTAL FARMHOUSE OF WESTPORT 32'





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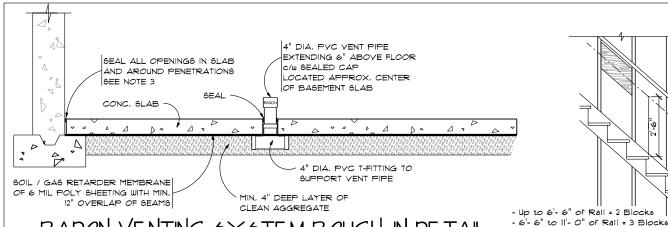
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	Rev.	Rev.	

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ΑN Dwg. Date: 06/24/2025

EXECUTIVE 2025 YER.I.O COASTAL FARMHOUSE 07/17/2025 WESTPORT 32'



RADON VENTING SYSTEM ROUGH-IN DETAIL

NOTES:

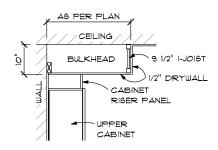
- ALL INTERIOR CONCRETE SLABS THAT COME IN CONTACT WITH GROUND SHALL BE OVER A GAS PERMEABLE MATERIAL MADE UP OF A MINIMUM OF 4" THICKNESS OF CLEAN, COARSE GRAVEL RANGING IN SIZE FROM 1/2" to 3/4" WITH NO FINES.
- 2. GRAVEL LAYER IS TO BE OVERLAIN WITH A SOIL-GAS RETARDER MEMBRANE OF 6 MIL POLYETHYLENE SHEETING, SHEETING IS TO BE CONTINUOUS OVER GRAVEL BED WITH SEAMS OVERLAPPED A MINIMUM OF 12".
- 3. ALL OPENINGS, GAPS OR JOINTS IN CONCRETE SLAB, INCLUDING GAPS AROUND PIPES AND DRAIN PENETRATIONS, SHALL BE SEALED WITH A LOW Y.O.C. POLYURETHANE CAULKING OR
- 4. ROUGHED IN VENT PIPING SHALL BE 4" DIAMETER PYC PIPING EXTENDING 6" ABOVE THE FLOOR AND C/W SEALED CAP.
- 5. YENT PIPING CAP IS TO BE CLEARLY LABELLED WITH THE WORDING 'RADON'
- 6. SUMP COVER TO BE AIR TIGHT.
- 1. WHERE DESIGNATED PLAN LOCATION FOR THROUGH-FLOOR TEE EXCEEDS 24" FROM CENTRE OF BASEMENT FLOOR PROVIDE 4" PVC VENT PIPE EXTENSION FROM TEE TO APPROXIMATE CENTRE OF BASEMENT FLOOR.



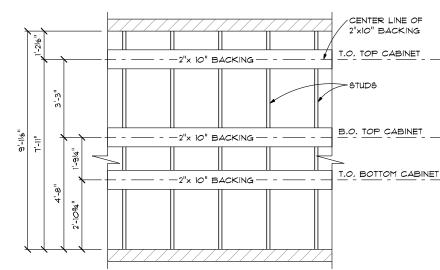
WALL MOUNT RAILING

-CENTER LINE of

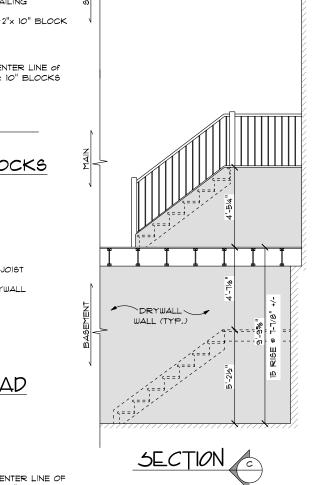
2"x 10" BLOCKS

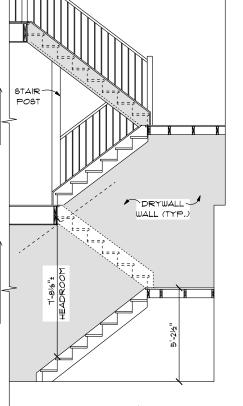


KITCHEN BULKHEAD SCALE: 3/8" = 1'-0"

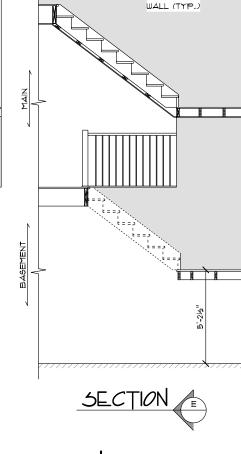


CABINET BACKING FRAMING DETAIL SCALE: 1/4" = 1'-0"



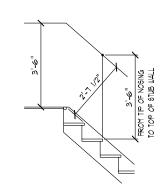


SECTION



DRYWALL

STAIR RAILING DETAILS



42" STUB WALL HEIGHTS SCALE: 1/4" = 1'-0'

05B CAPPING & SILL GASKET DETAIL

3/8" x 12" OSB

-FROST WALL FOUNDATION WALL

TO OSB WALL CAP

ENG'D JOISTS

- SECURE TOP PLATE OF FROST WALL

SCALE: 1/2" = 1'-0"



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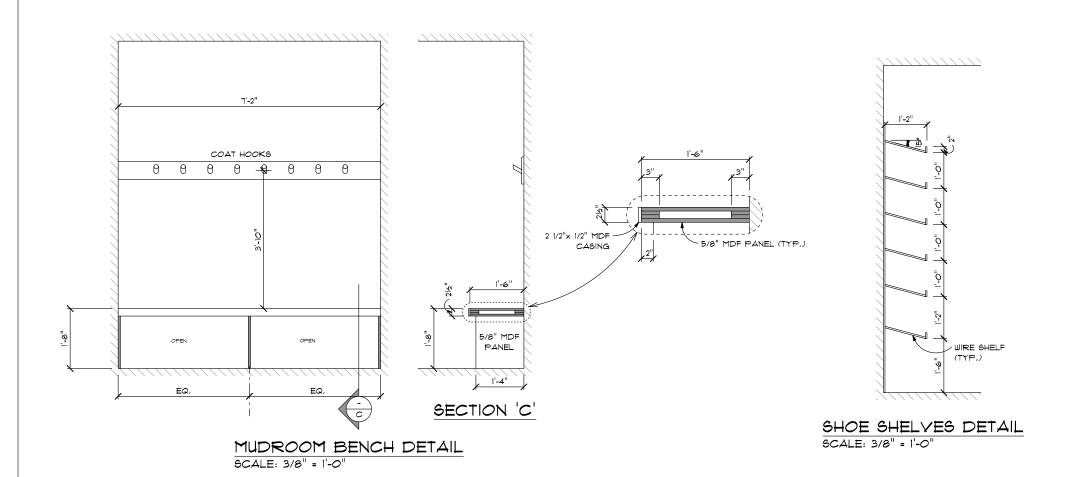
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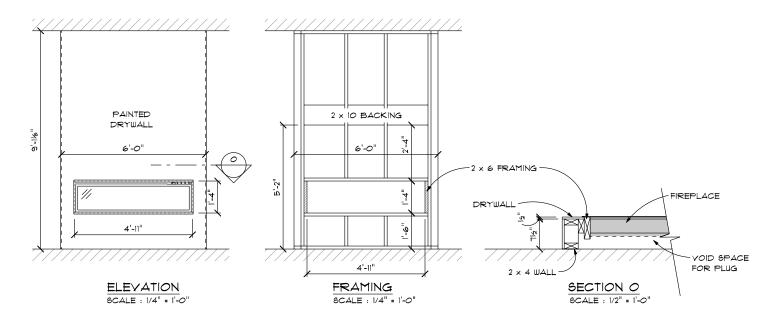
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Nrea: 3059 SQ.FT No. As Noted ΑN oate: 06/24/2025

07/17/2025

EXECUTIVE 2025 YER.I.O 10 COASTAL FARMHOUSE OF WESTPORT 32'





FIREPLACE DETAIL NAPOLEON 60 ENTICE ELECTRIC FIREPLACE (NEFL60CFH)



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EXECUTIVE 2025 YER.I.O COASTAL FARMHOUSE OF WESTPORT 32'

2025 SPECIFICATIONS ver. 1.0

02.10.2021

ROOF CONSTRUCTION

HOUSE.

- ASPHALT SHINGLES
- BUILDING PAPER C/III
 - ATTIC VENTS to 1/300th of INSULATED AREA and - ICE DAM PROTECTION at EAVES
- 3/8" O.S.B. SHEATHING C/W H-CLIPS
- ENGINEER APPROVED TRUSSES @ 24" O.C.
- 1"x 4" TRUSS BRACING @ 7'-0" O.C.
- R50 BLOWN INSULATION ON FLAT CEILINGS OR
- R40 BATT INSULATION on CATHEDRAL CEILINGS c/w
- 4' INSULATION STOP ON BLOWN AND BATT INSULATION - 6mil POLY VAPOUR BARRIER on 1/2" CD DRYWALL

EAVES CONSTRUCTION

- FASCIA as per ELEVATIONS under
- PREFINISHED METAL CLADDING
- PREFINISHED METAL SOFFITS
- PREFINISHED METAL EAVESTROUGH
- METAL DOWNSPOUTS to GRADE

EXTERIOR WALL CONSTRUCTION

- FINISH as per FLEVATIONS
- IS IN BILLI DING PAPER - 3/8" O.S.B. SHEATHING
- 2"x 6" STUDS @ 16" O.C.
- R20 BATT INSULATION
- 6mil C.G.S.B. POLY V.B.
- 1/2" DRYWALL TAPED and PAINTED

EXTERIOR SIDE WALL CONSTRUCTION

- SHEATHING TO HAVE FIRE RESISTANT COATING
- INFILL PROJECTS TO HAVE THE FIRE RESISTANT COATING FACE INSIDE THE BUILDING
- 15 MINUTE THERMAL BARRIER CLASS A FLAME RESISTANCE RATING to ULC-SIO1 and MAX. 25 MINUTE FLAME SPREAD RATING
- LOCATIONS as per 2006 ABC
- 5/8" TYPE 'X' INTERIOR DRYWALL WHEN NOTED

INTERIOR LOAD BEARING WALL CONSTRUCTION - 2"x 6" or 8" K.D. STUDS @ 19.2" O.C. ALIGNED WITH

- JOISTS
- 3/8" U-LAY as REQ'D
- 1/2" DRYWALL BOTH SIDES

GARAGE

ROOF CONSTRUCTION

- ASPHALT SHINGLES
- BUILDING PAPER c/w
- ATTIC VENTS to 1/300th of INSULATED AREA and ICE DAM PROTECTION at EAVES
- 3/8" O.S.B. SHEATHING c/w H-CLIPS
- ENGINEER APPROVED TRUSSES @ 24" O.C.
- 1"X 4" TRUSS BRACING @ T-O" O.C. R40 BLOWN INSULATION ON FLAT CEILINGS C/W
- INGILI ATION STOPS

- 6mil POLY VAPOUR BARRIER on 12" CD DRYWALL

EAVES CONSTRUCTION

- FASCIA as per Elevations
- PREFINISHED METAL CLADDING
- PREFINISHED METAL SOFFITS
- PREFINISHED METAL EAVESTROUGH
- METAL DOWNSPOUTS to GRADE

WALL CONSTRUCTION

- FINISH as per ELEVATIONS
- 15 lb, BUILDING PAPER - 3/8" O.S.B. SHEATHING
- 2"x 4" STUDS @ 16" O.C.
- RI2 BATT INSULATION
- 6mil C.G.S.B. POLY V.B.
- 1/2" DRYWALL, FIRE TAPED

- SIDE ELEVATION EXTERIOR WALLS
 SHEATHING TO HAVE FIRE RESISTANT COATING
- INFILL PROJECTS TO HAVE THE FIRE RESISTANT COATING FACE INSIDE THE BUILDING
- 15 MINUTE THERMAL BARRIER CLASS A FLAME RESISTANCE RATING to ULC-SIOI and MAX, 25 MINUTE FLAME SPREAD RATING
- LOCATIONS as per 2006 ABC
- 5/8" TYPE 'X' INTERIOR FIRE TAPED DRYWALL WHEN

INTERIOR NON-LOAD BEARING WALL CONSTRUCTION

- 2"x 4" 6" or 8" K D STUDS @ 24" O C
- 1/2" DRYWALL BOTH SIDES

TALL EXTERIOR WALLS
- WALLS GREATER than 12'-O" HIGH as per ENGINEERED

UPPER LEVEL FLOOR CONSTRUCTION

- FINISH as per PLAN
- 3/8" U-LAY as REQ'D
- 23/32" or 7/8" T&G O.S.B. SUBFLOOR GLUED and SCREWED
- ENGINEERED FLOOR SYSTEM
- 1/2" DRYWALL

FLOOR LEVEL over GARAGE CONSTRUCTION

- FINISH as per PLAN
- 3/8" SPRUCE PLYWOOD UNDERLAY as REQ'D
- 23/32" or 7/8" T&G O.S.B. SUBFLOOR GLUED and SCREWED
- ENGINEERED FLOOR SYSTEM
- R35 INSULATED HOT BOX
- 1/2" DRYWALL

MAIN LEVEL FLOOR CONSTRUCTION

- FINISH as per PLAN
- 3/8" SPRUCE PLYWOOD UNDERLAY as REQ'D - 23/32" or 7/8" T4G 0.5,B, SUBFLOOR GLUED and
- ENGINEERED FLOOR SYSTEM FASTENED to
- FOUNDATION WALL LADDER

- SUBFLOOR FASTENING
 GLUED and SCREWED at 4" O.C. at END BUTTS and - 8" O.C. at INTERMEDIATE SUPPORTS

- FOUNDATION WALL CONSTRUCTION

 8" THICK 20mpa TYPE IO OR 50 CONCRETE WALL DEPENDING ON SOILS REPORT
 - BITUMINOUS DAMPPROOF BELOW GRADE REINFORCING as per ENGINEERING DRAWINGS
- 18"x 8" 20mba TYPE 10 OR 50 CONCRETE STRIP FOOTING DEPENDING ON SOILS REPORT
- KEYIJAY ON LINDISTURBED SOIL

- WALLS GREATER than 9'-8" HIGH as per enq
- FINISH as per ELEVATIONS - 15 Ib. BUILDING PAPER
- 3/8" O.S.B. SHEATHING
- 2"x 4" STUDS @ 10" or 12" O.C. AS PER PLAN w/
- RI2 BATT INSULATION - 6mil C.G.S.B. POLY V.B.
- 1/2" DRYWALL, FIRE TAPED

GARAGE to HOUSE WALL CONSTRUCTION - 1/2" TYPE DRYWALL FIRE TAPED

- 3/8" OSB SHEATHING
- 2"x 6" STUDS @ 24" O.C
- R20 BATT INSULATION - 6 mil C.G.S.B. POLY V.B.
- 1/2" DRYWALL

FOUNDATION WALL CONSTRUCTION

- 8" THICK 20mpa TYPE 10 OR 50 CONCRETE WALL
- DEPENDING ON SOILS REPORT
- BITUMINOUS DAMPPROOF BELOW GRADE
- REINFORCING as per ENGINEERING DRAWINGS - 18"x 8" 20mpa TYPE 10 OR 50 CONCRETE STRIP FOOTING
- DEPENDING ON SOILS REPORT - KEYWAY ON UNDISTURBED SOIL

- FLOOR (SLAB) CONSTRUCTION

 4" DURAMIX CONC, FLOOR C/W *IOM REBAR in a 24" GRID
- 12" DIA SCREII PILES III/
- 8" COMPACTED GRANULAR FILL
- SLOPED DOWN 4" from HOUSE to O.H. DOOR OR
- SLOPED DOWN 2" from HOUSE to FLOOR DRAIN
- with a HAND WIPED FINISH

STEEL BRACKETS

- as per MANUFACTURERS ENGINEERING

- 2 1/2" STEEL STUDS OR 2"x 4" SPRUCE STUDS
- @ 24" O.C. 2" from FOUNDATION WALL
- PIZ BATT INGILI ATION
- 6 mil C.S.G.B. POLY V.B

TELEPOST CONSTRUCTION

- 3" ADJ METAL TELEPOST
- 36"x 36"x 8" 20 mpa TYPE 50 CONC. PAD
- 4 #IOM REBAR IN EACH DIRECTION
- OR - ENGINEERED TELEPOST
- ENGINEERED REINFORCED CONC. PAD

BASEMENT FLOOR CONSTRUCTION

- 3" 20 mpa, CONCRETE SLAB
- 6 mil POLY V.B. SEALED at all JOINTS
- 6" MINIMUM GRAVEL BASE

RADON ROUGH-IN

- POLYETHYLENE SOIL/GAS BARRIER UNDER SLAB
- SLAB PERIMETER and ALL PENETRATIONS in SLAB to be SEALED
- SUMP PIT COVER MUST be GAS TIGHT
- MINIMUM 6" GRAVEL COVER
- ROUGH in for RADON MUST be CAPPED OFF for RADON EXTRACTION to REQUIREMENTS 4" EXHAUST PIPE RUN to CENTER of SLAB

GENERAL NOTES

- 1) ALL ADJOINING WALLS are to HAVE OVERLAPPING TOP PLATES.
- 2) A 5/8" GAP MUST be LEFT BETWEEN ALL STAIRS and
- ADJACENT WALLS. 3) BIFOLD and BYPASS INTERIOR DOORS: a) R.O. WIDTH = DOOR WIDTH + 1 1/2"
- b) R.O. HEIGHT = 81 5/8" 4) SILING DOORS
- a) R.O. WIDTH = DOOR WIDTH + 2" b) R.O. HEIGHT = 82 1/2"
- 5) LINTELS for EXTERIOR OPENINGS 4'-O" WIDE or WIDER are to HAVE DOUBLE CRIPPLES on EACH
- 6) LINTELS in EXTERIOR WALLS OVER 5'-0" or WIDER are to be 3 PLY 2"x 10" or ENGINEERED PRODUCT
- If NOTED. 7) 2"x 6" SUPPORT BACKING for CABINETS to be
- INSTALLED AS PER PROVIDE DETAIL 8) IIIALLS SUPPORTING UPPER CABINETS to be FRAMED AT 16" O.C.
- 9) 2"x 10" PEDESTAL SINK BACKING is to be INSTALLED 30" ABOVE FLOOR to CENTER of BLOCK
- 10) TOILET PAPER HOLDER BACKING is to be INSTALLED 24" ABOVE FLOOR to CENTER of
- 11) TOWEL ROD BACKING to be INSTALLED 48" ABOVE FLOOR to CENTER of BLOCK. 12) INSTALL 2"x 10" BLOCKS at ALL BATH CURTAIN
- ROD LOCATIONS. 13) PROVIDE FLASHING ABOVE ALL EXTERIOR WINDOW and DOOR OPENINGS.
- 14) ALL WORK is to CONFORM to the ALBERTA BUILDING and FIRE CODES 15) FINAL GRADING and SITE CONDITIONS may VARY
 - ALL INSTALLATION METHODS are to MEET the REQUIREMENTS of the INSTALLATION GUIDE and DETAILING OPTIONS for COMPLIANCE with ASTM CITSO for ADHERED MANUFACTURED STONE VENEER and ANY ADDITIONAL REQUIREMENTS 'SET by the PRODUCT MANUFACTURER

DRIVE E 16) STONE VENEER INSTALLATION:

ABC = ALBERTA BUILDING CODE

A.F. = ABOVE FLOOR

B.O. = BOTTOM OF

C.G.S.B. = POLY CERTIFICATION

CLG. = CEILING

FD = FLOOR DRAIN

FTG. = FOOTING

K.D. = KILN DRIED

O.C. = ON CENTER O.H. = OVERHEAD

R.O. = ROUGH OPENING RWL = RAIN WATER LEADER

U-LAY = UNDERLAY

Y.B. = YAPOUR BARRIER

W.I.C. = WALK IN CLOSET W.T.C. = WALK THROUGH CLOSET

ABBREVIATI*O*NS

ADJ. = ADJACENT A.F.F. = ABOVE FINISHED FLOOR

BRG. = BEARING

C/III = COMPLETE IIITH ENG'D = ENGINEERED FALL = FACH IIIAY

FOTH = FOUNDATION GILB = GYPSIM IIIALI BOARD

MECH, = MECHANICAL and PLUMBING

OTR. = OVER THE RANGE REQ'D = REQUIRED

T#G = TONGUE and GROOVE T.O. = TOP OF

w/ = WITH W.C. = WATER CLOSET

LAKE9 **JUBILATION** JENSEN J $\frac{4}{9}$ 8 7 . DENCE <u></u>

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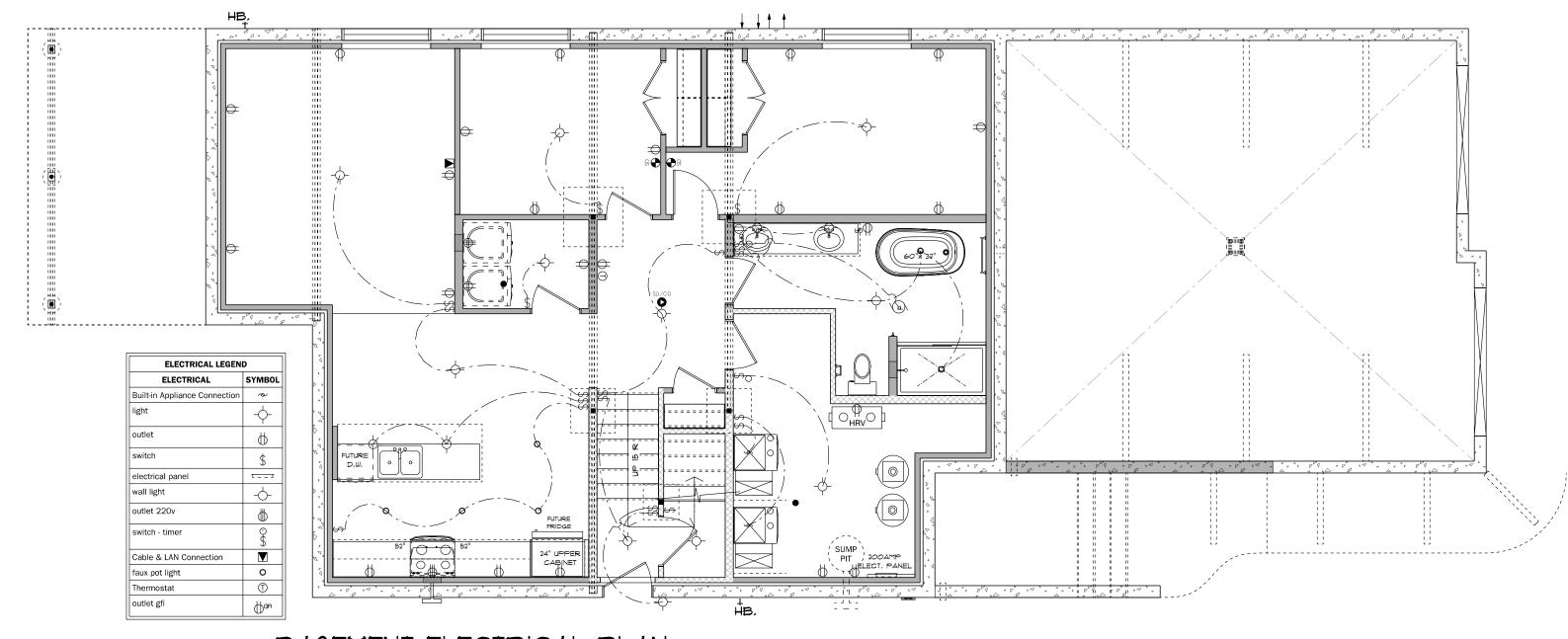
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BASEMENT ELECTRICAL PLAN

ELECTRICAL LOCATIONS ARE APPROXIMATE AND MAY NEED TO BE ADJUSTED TO ACCOMMODATE FRAMING, HEATING, PLUMBING, ETC.



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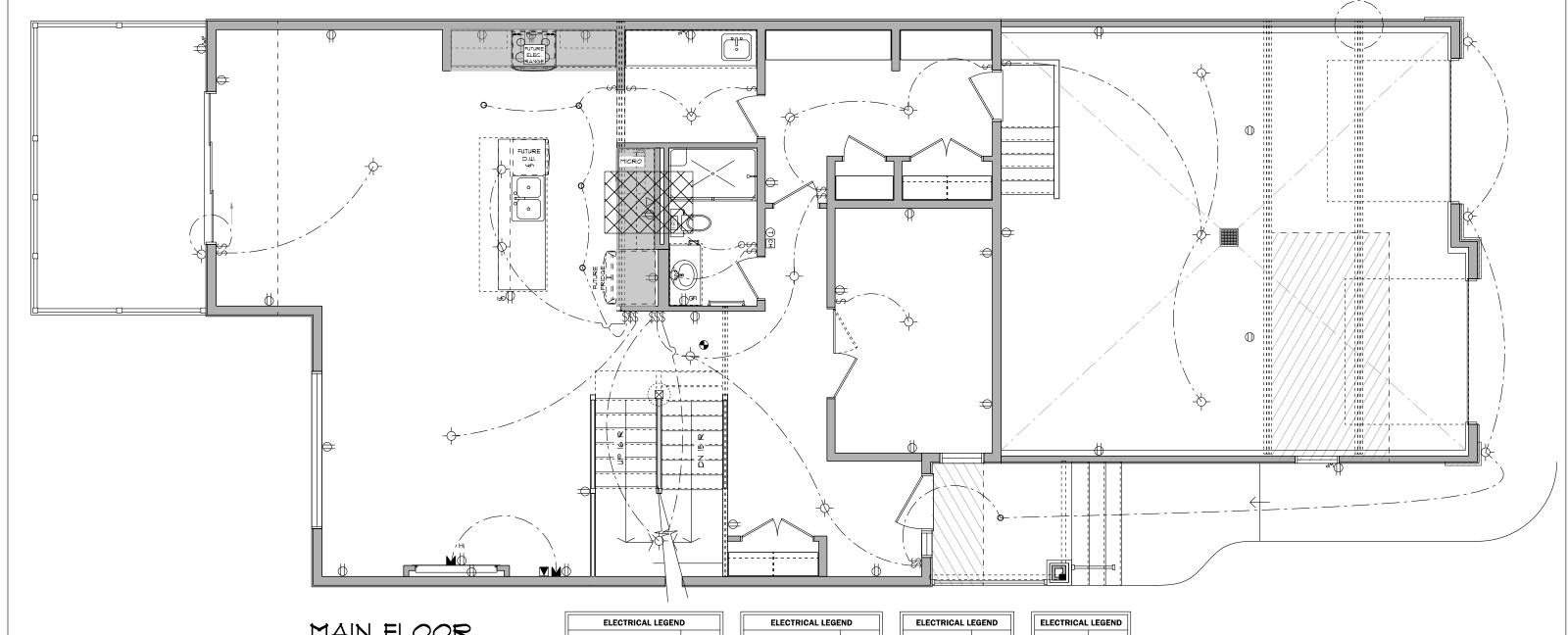
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^{Scale:} 3/16" = 1'-0" IF IN DOUBT.....PLEASE ASK!!

AN 10.24.2024 REV. #0

Area: 3059 SQ.FT No.: EXECUTIVE 2025 VER.1.0 Dwg. 06/24/2025 COASTAL FARMHOUSE 07/17/2025 WESTPORT 32'

EI



MAIN FLOOR ELECTRICAL PLAN

APPROXIMATE AND MAY NEED TO BE ADJUSTED TO ACCOMODATE FRAMING,

HEATING, PLUMBING, ETC.

ELECTRICAL LEGEN	D
ELECTRICAL	SYMBOL
faux pot light	0
Built-in Appliance Connection	8
Cable & LAN Connection	V
HRV Inlet	HRV
conduit outlet	М
Thermostat	①

ELECTRICAL LEGE	ND
ELECTRICAL	SYMBOL
ceiling receptacle duplex	\ominus
chime	СН
light	-
outlet	Ф
outlet 220v	•
switch	\$

ELECTRICAL LEGEND		
ELECTRICAL	SYMBOL	
switch - timer	O \$	
telephone	∇	
wall light	-	
Outlet - duplex Hi	H 🕁	
smoke detector	•	
outlet gfi	∯ ^{GFI}	

ELECTRICAL	ELECTRICAL LEGEND				
ELECTRICAL	SYMBOL				
outlet wp	Øw₽				



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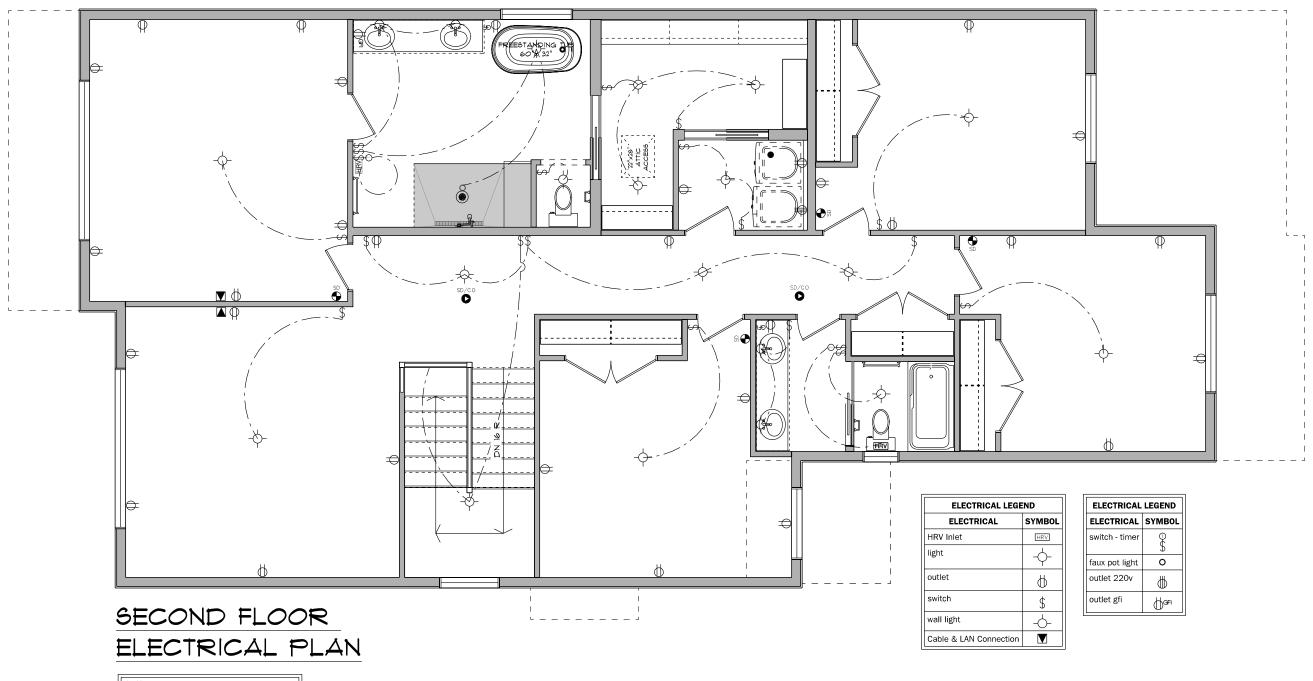
86 JUBILATION DRIVE ST. ALBERT JENSEN LAKES

REFER TO ENGINEERING, TRUSS SYSTEM and FLOOR SYSTEM DESIGN DRAWINGS for FOUNDATION

and FRAMING SPECIFIC DETAILS.

Scale: 3/16" = 1'-0" IF IN DOUBT.....PLEASE ASK!! Released for STAMP DATE Dwg. 06/24/2025 Print O7/17/2025 AN 10.24.2024 REV. *O

Area: 3059 SQ.FT No.: EXECUTIVE 2025 YER.I.O E2 COASTAL FARMHOUSE WESTPORT 32'



NOTE:
ELECTRICAL LOCATIONS ARE
APPROXIMATE AND MAY NEED TO BE
ADJUSTED TO ACCOMODATE FRAMING,
HEATING, PLUMBING, ETC.



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AN 10.24.2024 REV. #0

Scale: 3/16" = 1'-0"

Area: 3059 SQ.FT No.:

EXECUTIVE 2025 VER.I.O Dwg. 06/24/2025 COASTAL FARMHOUSE 07/17/2025 WESTPORT 32'

E3