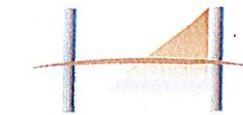




SITE FROM NORTHWEST CORNER



SITE FROM SOUTHWEST CORNER



**HARTWIG
ARCHITECTURE INC.**

77 CHIPPEWA ROAD
SHERWOOD PARK, ALBERTA, T8A 6J7
T: (780) 417-3757 F: (780) 417-3775

BUILDING WITH SOUL

DO NOT SCALE THIS DRAWING

VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT IMMEDIATELY.

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Circle 1



HARTWIG ARCHITECTURE INC.
PERMIT No. 421
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

Revisions:

REVISED SITE PLAN FOR DP	NOV 16 2025
PRAYER ROOM LAYOUT FOR DP	NOV 12 2025
REVISED SITE PLAN FOR DP	JUL 20 2025
PRELIMINARY I/P	JUN 20 2025
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ADDED STORAGE ROOM	MAR 28 2025
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REVISED DESIGN-8j	DEC 02 2024
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REVISED DESIGN	MAY 24 2024
REVISED DESIGN	MAY 14 2024
REVISED DESIGN	MAY 11 2024
PRELIMINARY DESIGN	MAY 03 2024

Construction Manager:

APPROVED
For Development Permit Only
City of St. Albert
Planning & Development Department

Approved By: *[Signature]*

Date: **FEB 19, 2026**

Client:

**NEW MOSQUE
NOVEMBER 16
2025**

**SITE
STREETSCAPES**

DRAWN BY: J.M.
CHECKED BY: T.H.
SCALE: AS NOTED
DATE: JUNE 16 2025

A1.3

SITE PLAN NOTES

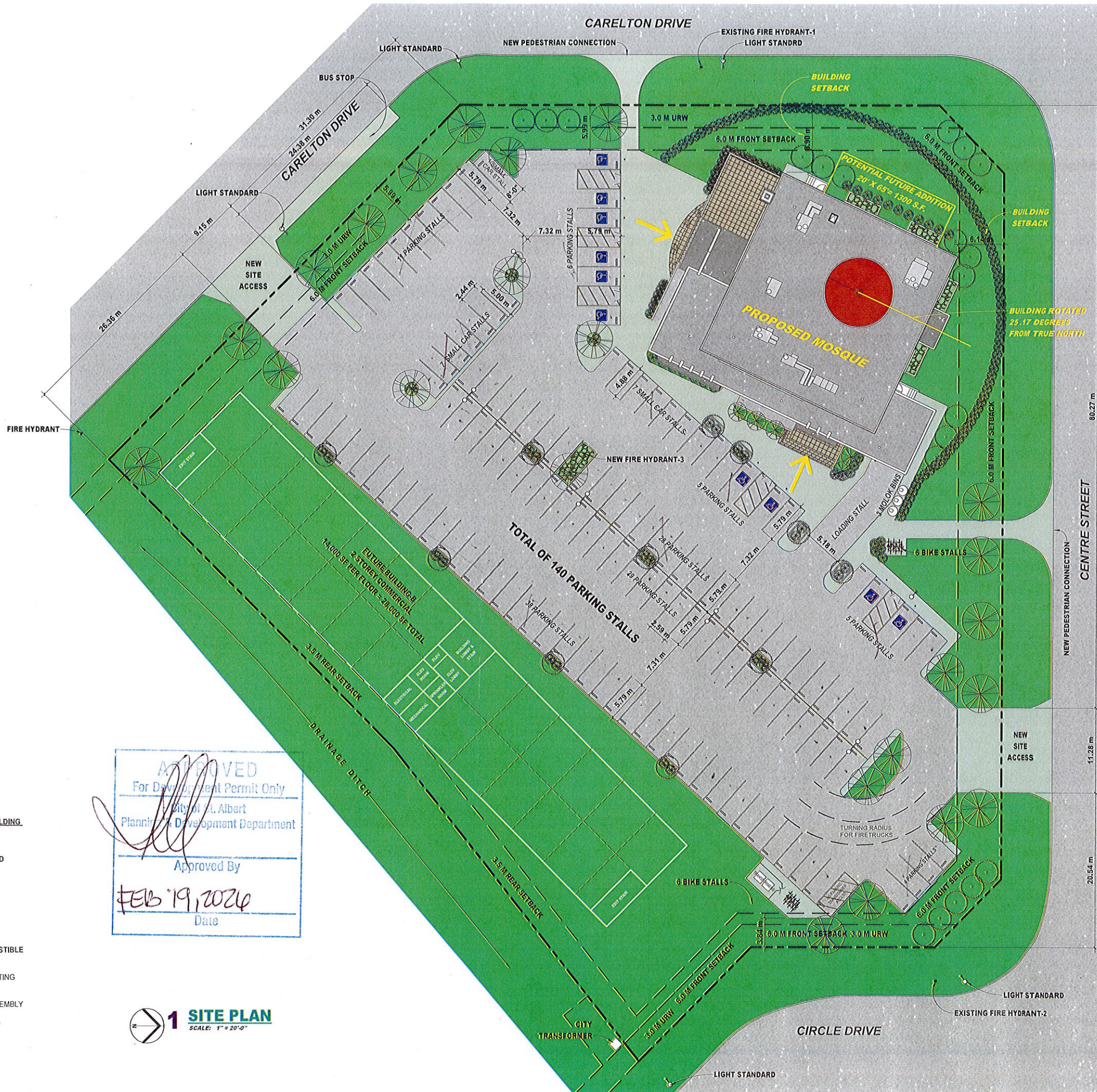
FOR ALL PROPERTY LINE DIMENSIONS AND ORIENTATION TO NORTH, REFER TO THE SURVEYORS SITE PLAN.

FOR ALL CITY OF ST. ALBERT LIGHT STANDARDS, FIRE HYDRANTS AND UTILITY BOXES, REFER TO THE SURVEYORS SITE PLAN.

FOR DRAINAGE AND FLOOR GEODETIC ELEVATION, REFER TO THE CIVIL ENGINEERS PLAN AND DETAILS

PARKING STALL NOTES

- TYPICAL PARKING STALLS = 19'0" X 8'6"
- SMALL CAR STALLS = 16'5" X 8'6"
- BARRIER FREE STALLS = 19'0" X 8'6"
- LOADING AREA = 17'0" X 5'9"
- DRIVE AISLE WIDTH MINIMUM = 24'0"



BUILDING CODE ANALYSIS

THE PROPOSED BUILDING IS IN ACCORDANCE WITH THE FOLLOWING BUILDING CLASSIFICATION FROM THE LATEST ALBERTA BUILDING CODE

SECTION 3.2.2.25

GROUP-A, DIVISION-2, UP TO 2 STOREYS, INCREASED AREA, SPRINKLERED

- 1) A BUILDING IS PERMITTED TO CONFORM TO SENTENCE (2) PROVIDED;
 - a) THE BUILDING IS SPRINKLERED THROUGHOUT
 - b) THE BUILDING IS NOT MORE THAN 2 STOREYS IN HEIGHT
 - c) THE BUILDING AREA IS NOT MORE THAN 2400 SM
- 2) THE BUILDING IS PERMITTED TO BE OF COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION USED SINGLY OR IN COMBINATION AND;
 - a) FLOOR ASSEMBLIES SHALL BE FIRE SEPARATIONS AND, IF OF COMBUSTIBLE CONSTRUCTION, SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES
 - c) LOADBEARING WALLS, COLUMNS AND ARCHES SUPPORTING AN ASSEMBLY REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL;
 - i) SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES, OR;
 - ii) SHALL BE OF NON COMBUSTIBLE CONSTRUCTION

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City of St. Albert
Planning & Development Department
Approved By
[Signature]
Date
FEB 19, 2024

1 SITE PLAN
SCALE: 1" = 20'-0"



HARTWIG ARCHITECTURE INC.

77 CHIPPEWA ROAD
SHERWOOD PARK, ALBERTA, T8A 6J7
T: (780) 417-3757 F: (780) 417-3776

BUILDING WITH SOUL

DO NOT SCALE THIS DRAWING
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HARTWIG ARCHITECTURE INC.
PERMIT No. 421
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REVISED DESIGN	MAY 24 2024
REVISED DESIGN	MAY 14 2024
REVISED DESIGN	MAY 11 2024
PRELIMINARY DESIGN	MAY 03 2024

Construction Manager:

Client:

NEW MOSQUE

SITE PLAN

DRAWN BY: J.M.
CHECKED BY: T.H.
SCALE: AS NOTED
DATE: JUNE 16 2025

A1.5

GENERAL NOTES

ALL WORK TO BE IN ACCORDANCE WITH THE LATEST CODES AND BYLAWS.

NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE CONSTRUCTION OF THE ITEMS IN QUESTION.

BASEMENT OCCUPANCY LOADS

OVERFLOW PRAYER ROOM	= 210 PEOPLE PRAYING
OVERFLOW LOBBY	= 30 PEOPLE STANDING
FLEX ROOMS & PLAY ROOM	= 75 PEOPLE WALKING
WASHROOMS	= 12 PEOPLE
IMAM OFFICE	= 2 PEOPLE SITTING
KITCHEN	= 6 PEOPLE WALKING
MAXIMUM OCCUPANT LOAD	= 335 PEOPLE

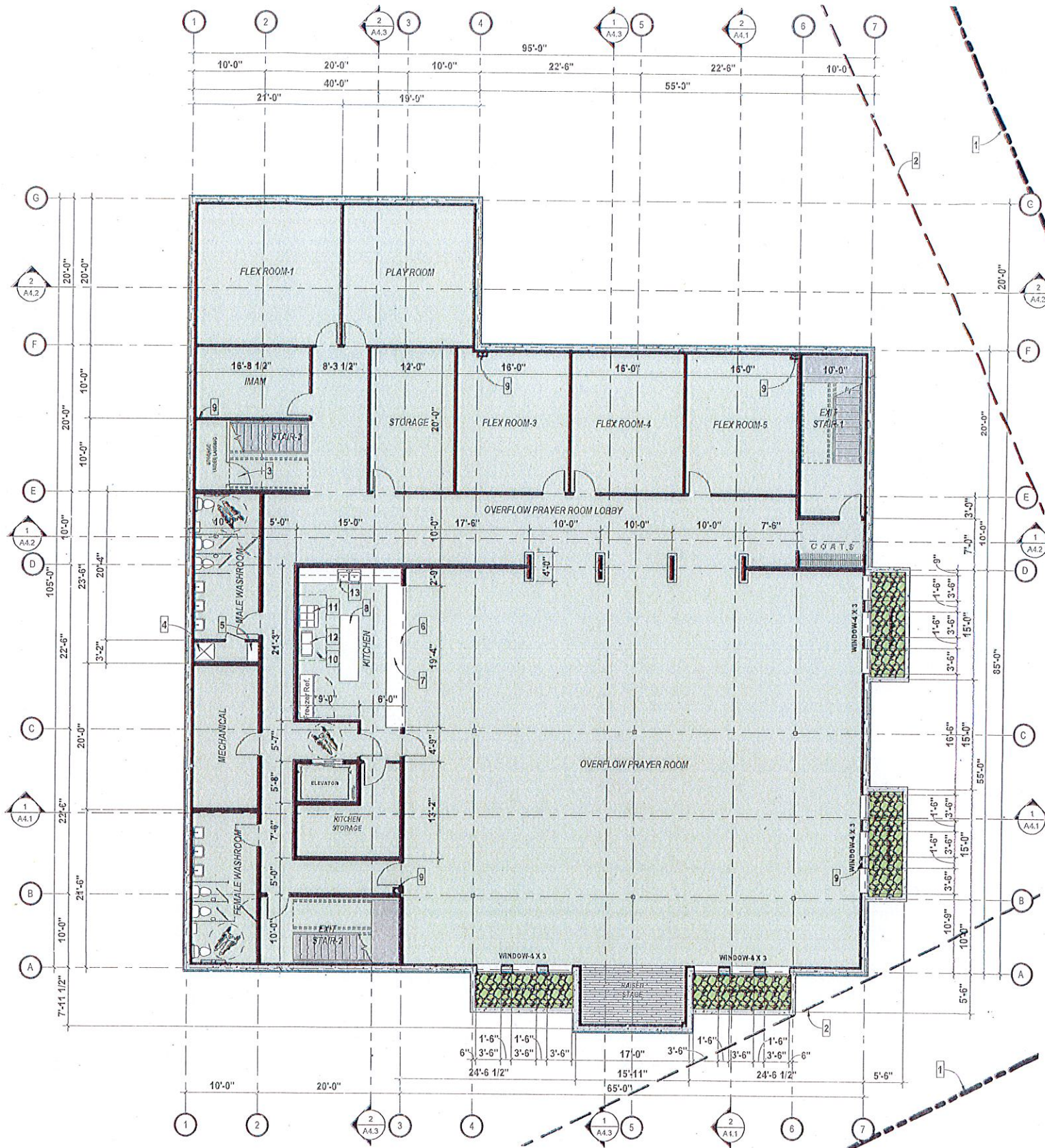
TO BE USED FOR HVAC CALCULATIONS ONLY. THE REALISTIC OCCUPANCY LOAD IS 287 PEOPLE MAXIMUM.

KEYNOTES

- 1 PROPERTY LINE.
- 2 SETBACK LINE.
- 3 CUSTOM HEIGHT DOOR TO SUIT HEIGHT OF LANDING.
- 4 32" PREFAB SHOWER STALL.
- 5 TILED SEAT.
- 6 ROLL DOWN SHUTTER ABOVE BUFFET COUNTER.
- 7 BUFFET COUNTER C/W STORAGE SHELVES BELOW.
- 8 FOOD PREPARATION AREA.
- 9 RAIN WATER LEADER LOCATION HIDDEN BY METAL STUD FRAMING AND DRYWALL.
- 10 EXHAUST HOOD ABOVE.
- 11 6 GAS BURNERS WITH CONVECTION OVENS BELOW.
- 12 2 GAS BURNER STOCK POT RANGE.
- 13 DISHWASHING AREA WITH SHELVES BELOW AND ABOVE.

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City of St. Albert
Planning & Development Department

Approved By
[Signature]
Date
FEB 19, 2026



1 BASEMENT PLAN
SCALE: 1/8" = 1'-0"



77 CHIPPEWA ROAD
SHERWOOD PARK, ALBERTA, T8A 6J7
T: (780) 417-3757 F: (780) 417-3778

BUILDING WITH SOUL

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23	REVISED DESIGN	MAY 11 2024
24	PRELIMINARY DESIGN	MAY 03 2024

Construction Manager:

Client:

NEW MOSQUE
NOVEMBER 27
2025

BASEMENT PLAN

DRAWN BY: J.M.
CHECKED BY: T.H.
SCALE: AS NOTED
DATE: JUNE 16 2025

A2.1

BUILDING WITH SOUL

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Consultant



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23	REVISED DESIGN	MAY 11 2024
24	PRELIMINARY DESIGN	MAY 03 2024

Construction Manager:

Client:

NEW MOSQUE
NOVEMBER 27
2025

MAIN FLOOR PLAN

DRAWN BY: J.M.
CHECKED BY: T.H.
SCALE: AS NOTED
DATE: JUNE 16 2025

A2.2

GENERAL NOTES

ALL WORK TO BE IN ACCORDANCE WITH THE LATEST CODES AND BYLAWS.

NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE CONSTRUCTION OF THE ITEMS IN QUESTION.

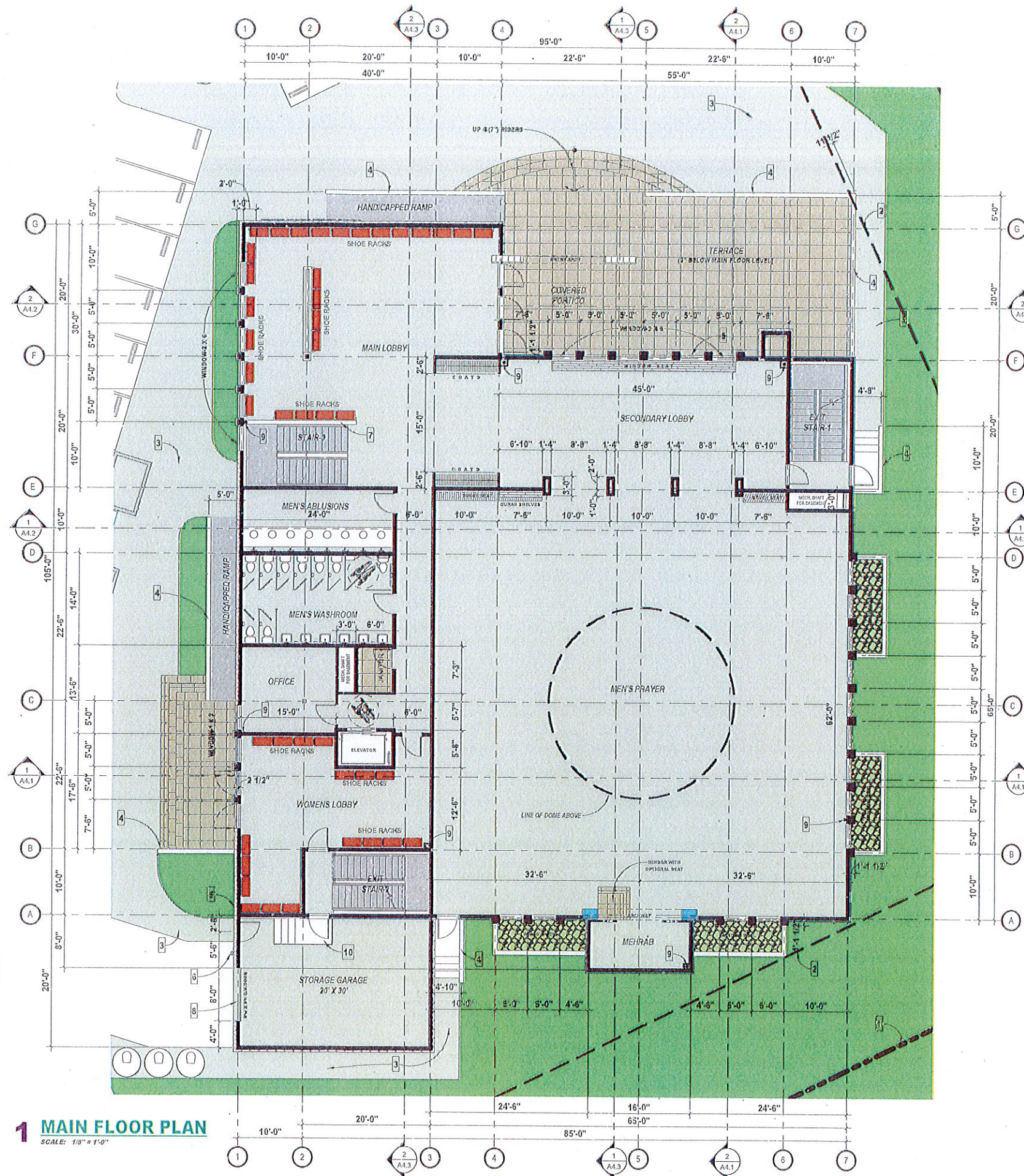
MAIN FLOOR OCCUPANCY LOADS

MAIN FLOOR PRAYER ROOM	= 280 PEOPLE PRAYING
SECONDARY LOBBY	= 50 PEOPLE STANDING
MAIN LOBBY	= 30 PEOPLE WALKING
MEN'S ABLUTIONS	= 8 PEOPLE WASHING
MEN'S WASHROOM	= 15 PEOPLE
OFFICE	= 2 PEOPLE SITTING
WOMEN'S LOBBY	= 15 PEOPLE WALKING
MAXIMUM OCCUPANT LOAD	= 380 PEOPLE

TO BE USED FOR HVAC CALCULATIONS ONLY. THE REALISTIC OCCUPANCY LOAD IS 282 PEOPLE MAXIMUM.

KEYNOTES

- PROPERTY LINE.
- SETBACK LINE.
- CONCRETE WALKWAY TO SLOPE AWAY FROM THE BUILDING AT 1/8" PER 12".
- SPLIT FACED CONCRETE BLOCK PONY WALL. TOP OF WALL TO BE 3'6" FROM THE TERRACE/LANDING LEVEL.
- NON-FREEZE HOSE BIBB LOCATION.
- FIRE DEPARTMENT CONNECTION FOR SPRINKLER SYSTEM.
- METAL STUD AND DRYWALL PONY WALL 42" IN HEIGHT.
- 8"W X 8" H INSULATED FLUSH PANEL, OVERHEAD DOOR C/W OPERATOR TO BE PAINTED METALIC COPPER TO MATCH THE WINDOW FRAMES.
- RAIN WATER LEADER LOCATION HIDDEN BY METAL STUD FRAMING AND DRYWALL.
- WOOD FRAMED STEPS AND LANDING C/W RAILING.



1 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"





HARTWIG ARCHITECTURE INC.
 77 CHIPPEWA ROAD
 SHERWOOD PARK, ALBERTA, T8A 6J7
 T: (780) 417-3757 F: (780) 417-3776

BUILDING WITH SOUL

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24	PRELIMINARY DESIGN	MAY 03 2024

Construction Manager: _____

Client: _____

NEW MOSQUE
NOVEMBER 27
2025

SECOND FLOOR PLAN

DRAWN BY: J.M.
 CHECKED BY: T.H.
 SCALE: AS NOTED
 DATE: JUNE 18 2025

A2.3

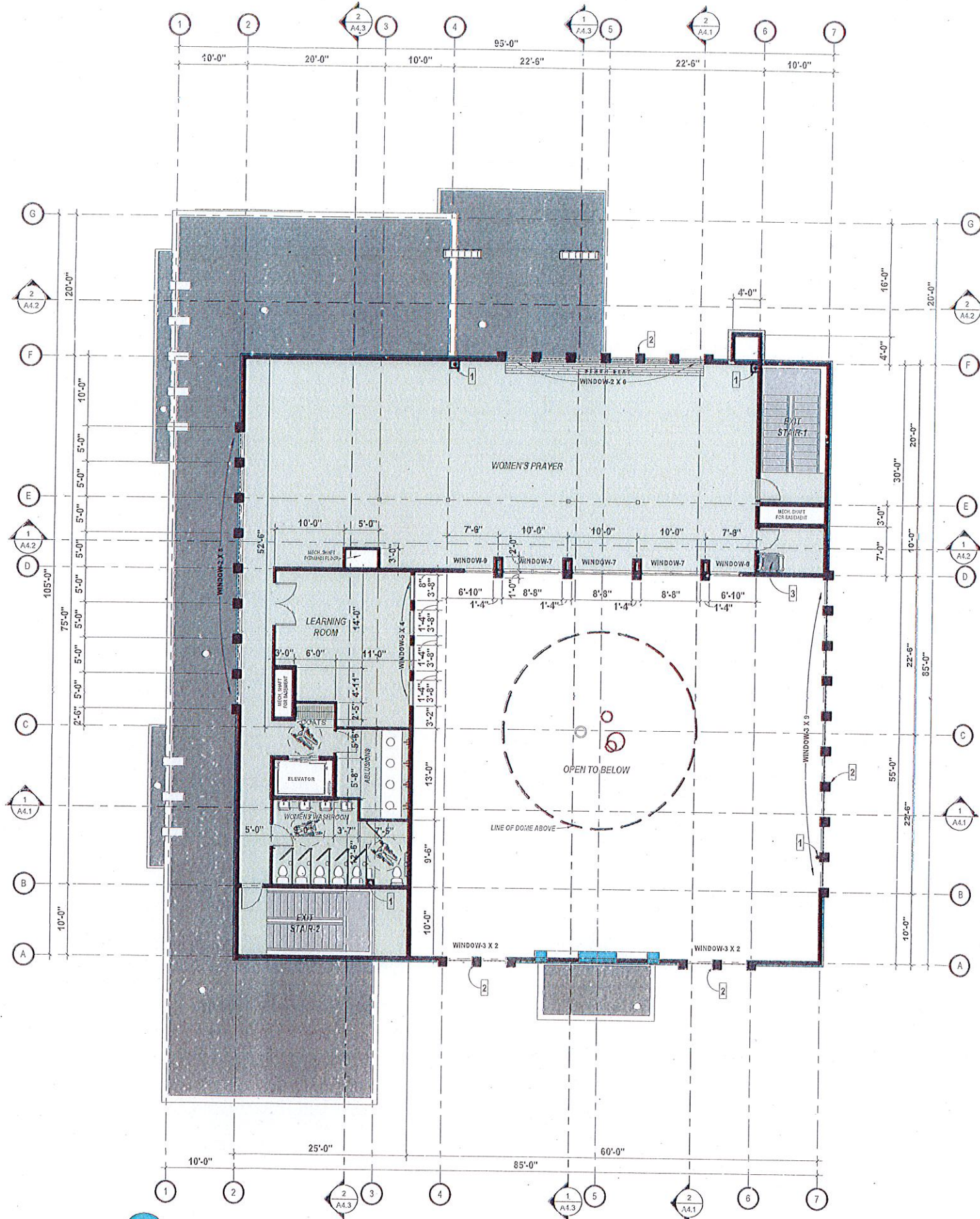
GENERAL NOTES
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SECOND FLOOR OCCUPANCY LOADS
 WOMEN'S PRAYER ROOM = 127 PEOPLE PRAYING
 LEARNING ROOM = 20 PEOPLE
 WASHROOM = 10 PEOPLE
 ABLUTIONS = 4 PEOPLE WASHING
 MAXIMUM OCCUPANT LOAD = 161 PEOPLE

TO BE USED FOR HVAC CALCULATIONS ONLY. THE REALISTIC OCCUPANCY LOAD IS 147 PEOPLE MAXIMUM.

- KEYNOTES**
- RAIN WATER LEADER LOCATION HIDDEN BY METAL STUD FRAMING AND DRYWALL.
 - FOR DIMENSIONS OF THESE ELEMENTS, REFER TO THE MAIN FLOOR PLAN.
 - ROOF LADDER UP TO A METAL PLATFORM AT 5'0" THEN ANOTHER ROOF LADDER FROM THE PLATFORM UP TO THE ROOF HATCH ABOVE.

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 Planning & Development Department
 Approved By _____
 FEB 19, 2026
 Date



1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



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REVISED DESIGN	MAY 14 2024
REVISED DESIGN	MAY 11 2024
PRELIMINARY DESIGN	MAY 03 2024

Construction Manager:

Client:

**NEW MOSQUE
 NOVEMBER 16
 2025**

ROOF PLAN

DRAWN BY: J.M.
 CHECKED BY: T.H.
 SCALE: AS NOTED
 DATE: JUNE 16 2025

A2.4

GENERAL NOTES

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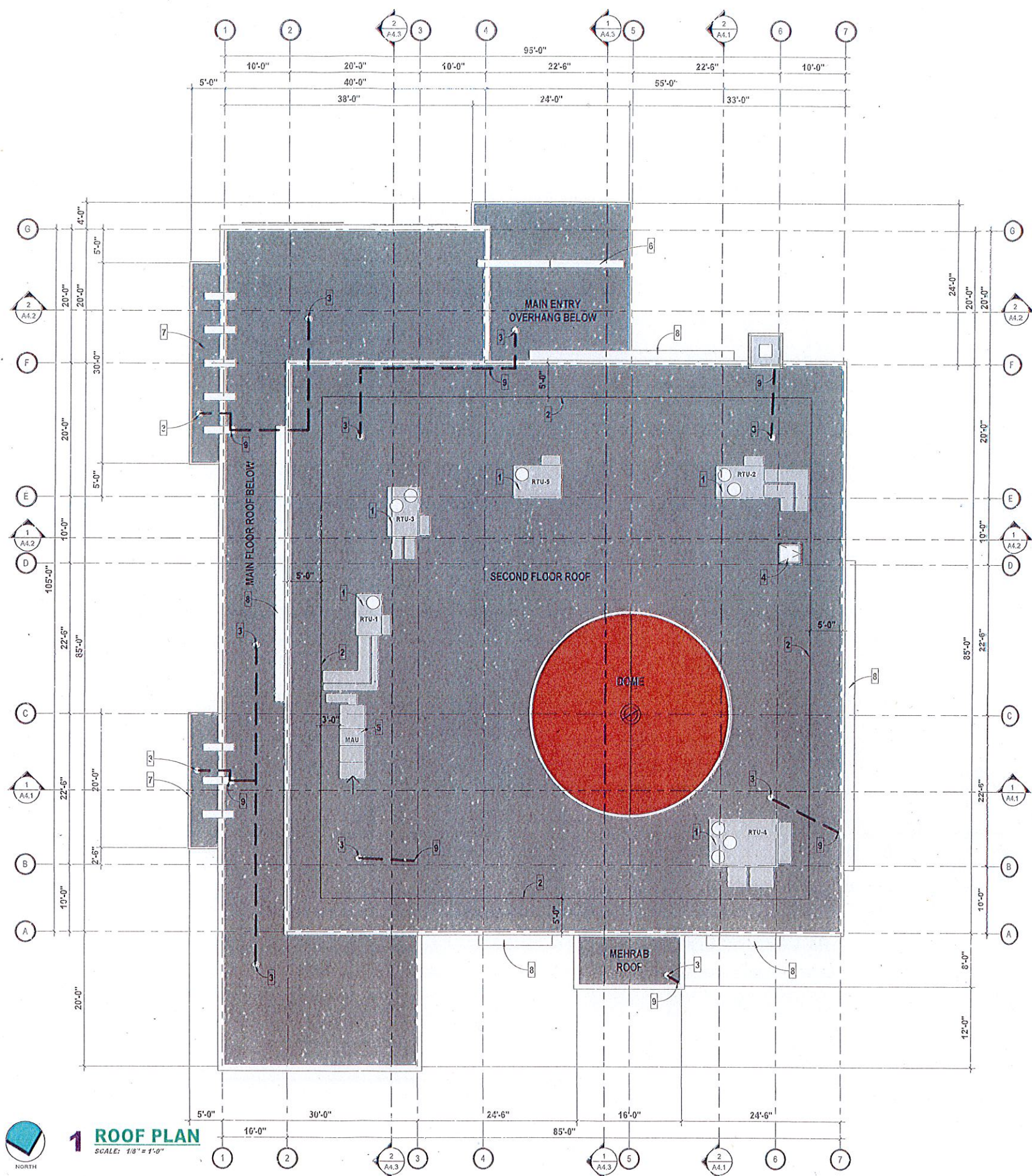
ROOF TO SLOPE TO ROOF DRAINS AT A MINIMUM OF 1/4" PER 12" UTILIZING SLOPED INSULATION. THE ROOF STRUCTURE TO BE LEVEL. MINIMUM THICKNESS OF ROOF INSULATION TO BE 7".

THE HEAVY DASHED LINES INDICATE THE DRAIN PIPE RUN TO CONNECT THE ROOF DRAIN TO THE RWL BELOW.

KEYNOTES

- 1 RTU LOCATION.
- 2 PREFINISHED METAL SLAT SCREEN WITH COPPER FINISH. REFER TO DETAILS.
- 3 ROOF DRAIN LOCATION.
- 4 ROOF HATCH LOCATION.
- 5 MAKE UP AIR UNIT.
- 6 DECORATIVE ARCHWAY. REFER TO DETAILS.
- 7 OVERHANG ABOVE MAIN FLOOR WINDOWS.
- 8 EYEBROW ABOVE SECOND FLOOR WINDOWS.
- 9 VERTICAL RWL LOCATION BELOW.

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 Planning & Development Department
 Approved By
 FEB 19, 2026
 Date



1 ROOF PLAN
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

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THIS PLAN IS A GUIDELINE ONLY FOR USE BY THE MECHANICAL AND ELECTRICAL ENGINEERS AS A TEMPLATE FOR THEIR WORK. THE ENGINEERS PLANS SUPERCEDE THIS PLAN IF ANY DISCREPANCIES EXIST.

CEILING NOTES

INSTALL A T-BAR CEILING THROUGHOUT THE BASEMENT SPACE EXCEPT THE MECHANICAL ROOM AND SHOWER ROOM AT 11'0".

T-BAR CEILING TILES TO BE 2' X 4' BUT LOOK LIKE 2' X 2' WITH A BEVELLED TEGLAR EDGE.

T-BAR CEILING TILES IN THE KITCHEN TO COMPLY WITH HEALTH REGULATIONS.

NO FINISHED CEILING IN THE MECHANICAL ROOM.

SHOWER ROOM TO HAVE A DRYWALL CEILING AT 11'0"

STAIRWELLS TO HAVE A DRYWALL CEILING TO THE UNDERSIDE OF THE LANDINGS WITH A TYPICAL 2' X 2' LED RECESSED PANEL.

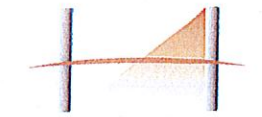
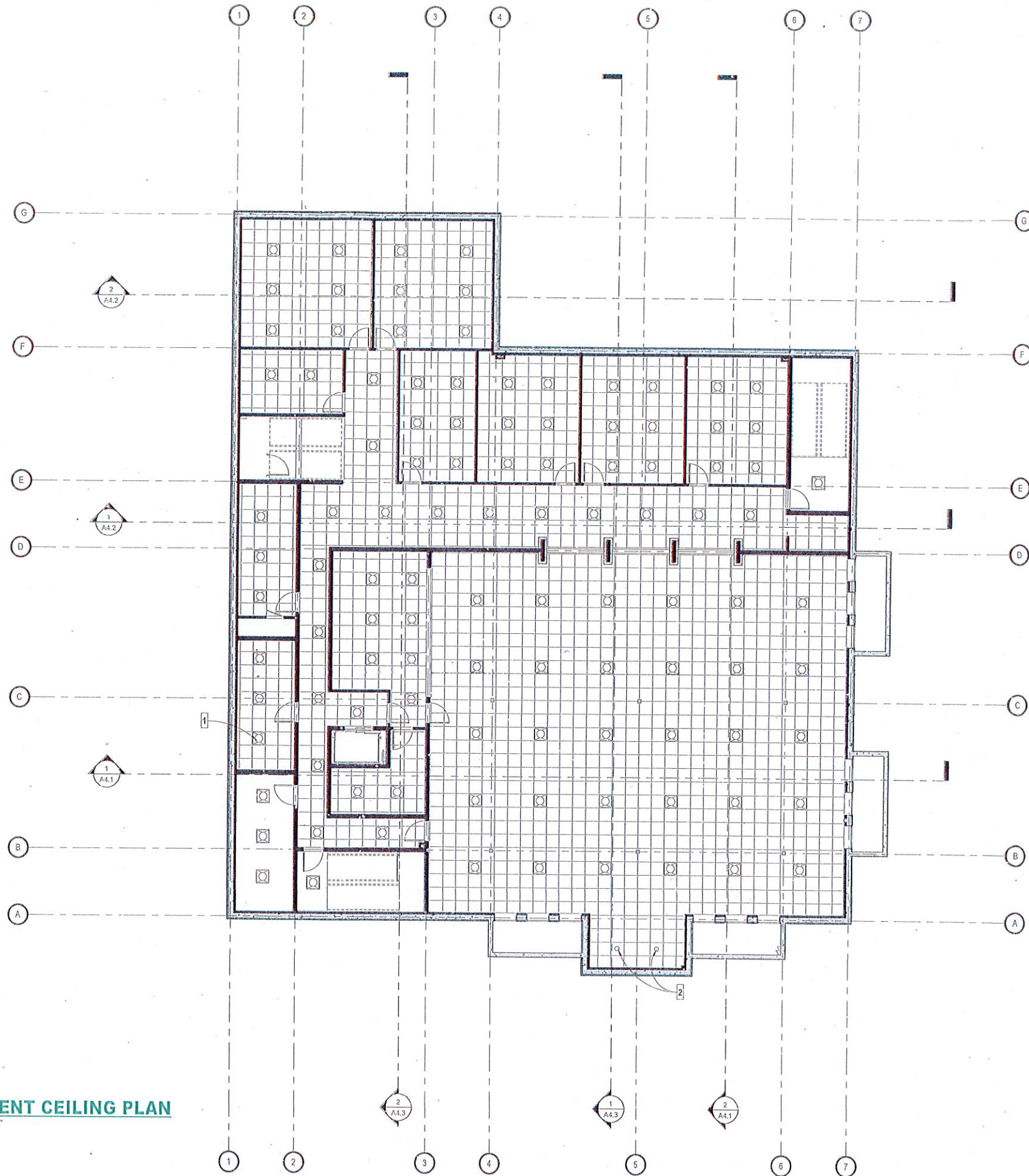
KEYNOTES

- 1 INDICATES A 24" X 24" LED RECESSED PANEL.
- 2 CIRCLES INDICATE A TYPICAL RECESSED POT LIGHT LOCATION.



1 BASEMENT CEILING PLAN

SCALE: 1/8" = 1'-0"



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DO NOT SCALE THIS DRAWING
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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE, AND ANY OTHER GOVERNING AUTHORITIES.



HARTWIG ARCHITECTURE INC.
PERMIT No. 421
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

Revisions:

REVISED SITE PLAN FOR DP	NOV 16 2025
PRAYER ROOM LAYOUT FOR DP	NOV 12 2025
REVISED SITE PLAN FOR DP	JUL 20 2025
PRELIMINARY IIP	JUN 20 2025
REVISED DP SET (SITE PLAN)	MAY 12 2025
ADDED BIKE STALLS	APR 23 2025
ADDED STORAGE ROOM	MAR 28 2025
REVISED INTERIOR DESIGN	FEB 10 2025
REVISED INTERIOR DESIGN	JAN 11 2025
INITIAL INTERIOR DESIGN	DEC 18 2024
REVISED DESIGN-8g	DEC 02 2024
REVISED DESIGN-8f	NOV 25 2024
REVISED DESIGN-8e	NOV 19 2024
REVISED DESIGN-8d	NOV 13 2024
REVISED DESIGN-8c	NOV 01 2024
REVISED DESIGN-8b	OCT 25 2024
REVISED DESIGN	OCT 15 2024
REVISED DESIGN	OCT 03 2024
REVISED DESIGN	MAY 25 2024
REVISED DESIGN	MAY 24 2024
REVISED DESIGN	MAY 14 2024
REVISED DESIGN	MAY 11 2024
PRELIMINARY DESIGN	MAY 03 2024

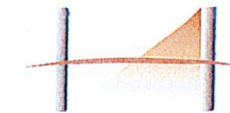
Construction Manager:

Client:
**NEW MOSQUE
NOVEMBER 16
2025**

**BASEMENT
CEILING PLAN**

DRAWN BY: J.M.
CHECKED BY: T.H.
SCALE: AS NOTED
DATE: JUNE 16 2025

A2.5



HARTWIG
ARCHITECTURE INC.

77 CHIPPEWA ROAD
SHERWOOD PARK, ALBERTA, T8A 6J7
T: (780) 417-3757 F: (780) 417-3775

BUILDING WITH SOUL

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HARTWIG ARCHITECTURE INC.
PERMIT No. 421
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

Revisions:

REVISED SITE PLAN FOR DP	NOV 18 2018
PRAYER ROOM LAYOUT FOR DP	NOV 12 2025
REVISED SITE PLAN FOR DP	JUL 20 2025
PRELIMINARY IBP	JUN 20 2025
REVISED DP SET (SITE PLAN)	MAY 12 2025
ADDED BIKE STALLS	APR 23 2025
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REVISED DESIGN	MAY 24 2024
REVISED DESIGN	MAY 14 2024
REVISED DESIGN	MAY 11 2024
PRELIMINARY DESIGN	MAY 03 2024

Construction Manager:

Client:

NEW MOSQUE
NOVEMBER 16
2025

MAIN CEILING
PLAN

DRAWN BY: J.M.
CHECKED BY: T.H.
SCALE: AS NOTED
DATE: JUNE 18 2025

A2.6

GENERAL NOTES

ALL WORK TO BE IN ACCORDANCE WITH THE LATEST CODES AND BYLAWS.

NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE CONSTRUCTION OF THE ITEMS IN QUESTION.

THIS PLAN IS A GUIDELINE ONLY FOR USE BY THE MECHANICAL AND ELECTRICAL ENGINEERS AS A TEMPLATE FOR THEIR WORK. THE ENGINEER'S PLANS SUPERCEDE THIS PLAN IF ANY DISCREPANCIES EXIST.

CEILING NOTES

INSTALL A T-BAR CEILING THROUGHOUT THE MAIN FLOOR AT 128" EXCEPT AS NOTED.

T-BAR CEILING TILES TO BE 2' X 4' BUT LOOK LIKE 2' X 2' WITH A BEVELLED TEGLAR EDGE.

NO FINISHED CEILING IN THE STORAGE GARAGE OR JANITOR ROOM.

ABLUSIONS ROOM TO HAVE A DRYWALL CEILING AT 128".

MEHRAB TO HAVE A DRYWALL CEILING WITH A TYPICAL 2' X 2' LED RECESSED PANEL.

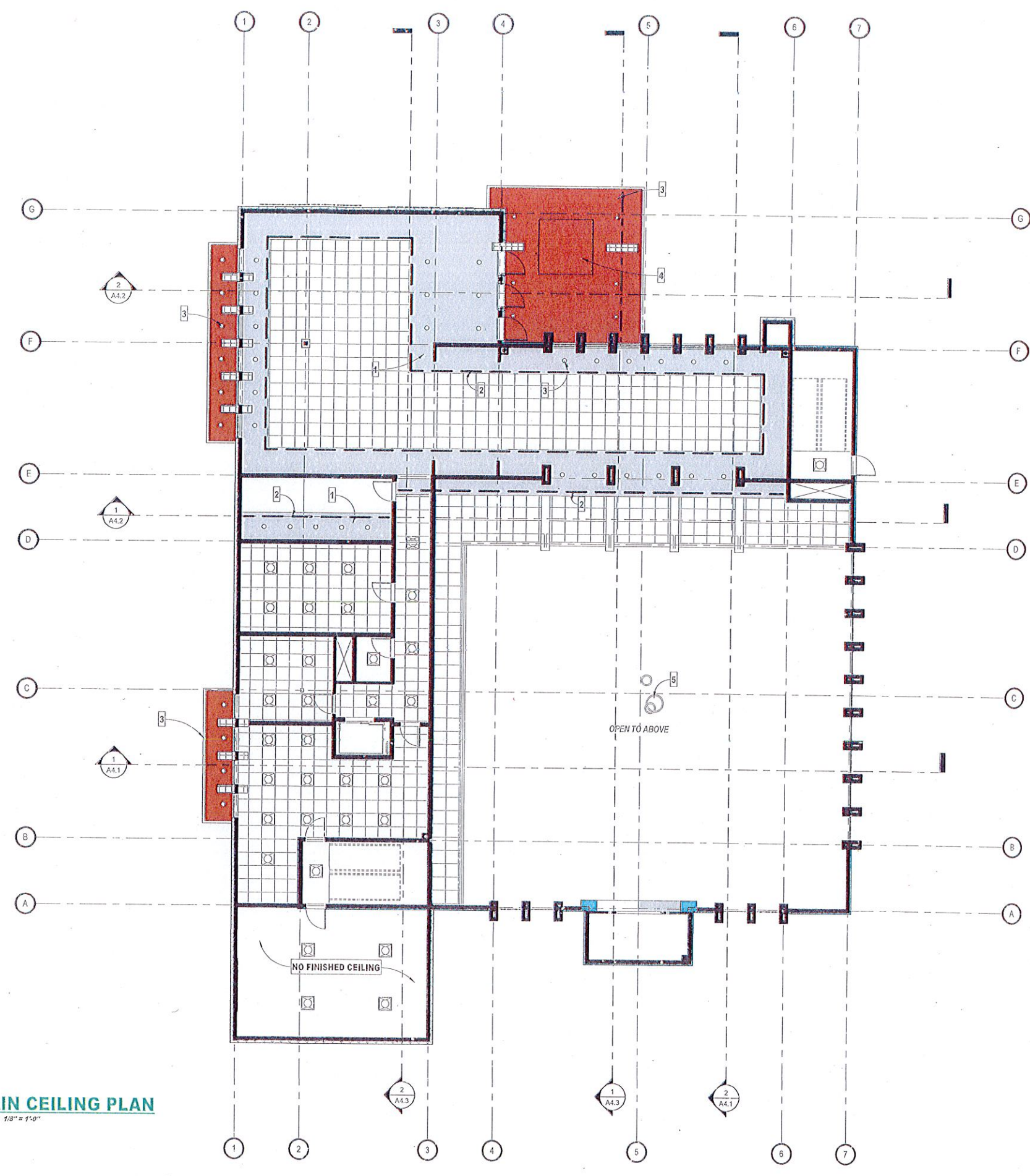
STAIRWELLS TO HAVE A DRYWALL CEILING TO THE UNDERSIDE OF THE LANDINGS WITH A TYPICAL 2' X 2' LED RECESSED PANEL.

KEYNOTES

- 1 SHADED AREAS INDICATE A DROPPED DRYWALL CEILING LIGHT COVE 120" FROM FLOOR LEVEL.
- 2 HEAVY DASHED LINE INDICATES LED STRIP LIGHTING LOCATED IN THE LIGHT COVE.
- 3 CIRCLES INDICATE A TYPICAL RECESSED POT LIGHT LOCATION.
- 4 ARRAY OF 4 PYRAMIDAL SKYLIGHTS IN THE MAIN ENTRY OVERHANG.
- 5 MULTI CIRCLED CHANDELIER FIXTURE HUNG FROM THE CENTER OF THE DOME.

APPROVED
For Development Permit Only
City of St. Albert
Planning & Development Department

Approved By
[Signature]
Date
FEB 19, 2024



1 MAIN CEILING PLAN
SCALE: 1/8" = 1'-0"