

**SUBDIVISION AND DEVELOPMENT APPEAL BOARD
DEVELOPMENT OFFICER REPORT**

FILE NUMBER: 18055.60
APPLICATION NUMBER: DP074446
DATE: May 15, 2026
APPELLANT: GIUSEPPE & NICOLINA SERVEDIO
MUNICIPAL ADDRESS: 60 ROBERGE CLOSE
LEGAL DESCRIPTION: PLAN 1820713, BLOCK 2, LOT 6
PROPOSED DEVELOPMENT: DWELLING (SINGLE DETACHED)
LAND USE CLASSIFICATION: LOW-DENSITY RESIDENTIAL (LDR)
DATE OF HEARING: May 27th, 2026
DATE OF DEVELOPMENT PERMIT DECISION: April 30th, 2026
DATE APPEAL FILED: May 1st, 2026

Background Information:

The applicant is appealing the decision of the Development Authority in refusing a development permit application to enclose the current deck with screens and a metal roof with a variance to the side and rear yard setback requirements.

Development within the City of St. Albert is regulated by Land Use Bylaw 18/2024.

Review of Land Use Bylaw 18/2024:

Land Use Bylaw 18/2024 does not list covered or enclosed decks as a specific use in the Low-Density Residential District. As such, the Development Authority reviewed and assessed the application as an addition to the existing single detached dwelling.

As per section 5.2(3)(iv)(a), a DWELLING (SINGLE DETACHED) is a permitted use in the Low-Density Residential district.

Section 3.51 regulates that “if a *deck (covered)* or *deck (enclosed)* is attached to a *principal building*, the *deck* shall meet the minimum *setback* requirements for the *principal building*.”

As per section 5.2(10)(b)(i), a principal dwelling on a lot over 12.50 m wide is required to meet a side yard setback of 1.80 m. The subject parcel is 14.23 m wide.

Required side yard setback: 1.80 m

Proposed side yard setback: 1.25 m

Variance required: 0.55 m (30.56%)

The variance to the side yard setback regulations exceeds the capacity of the Development Officer to approve as per Section 2.15(1).

As per Land Use Bylaw 18/2024 section 5.2(10)(c)(i)(A), a principal dwelling is required to meet a minimum rear yard setback of 6.00 m if there is an attached garage located on the lot. The subject parcel has an attached garage.

Required rear yard setback: 6.00 m

Proposed rear yard setback: 3.47 m

Variance required: 2.53 m (42.17%)

The variance to the rear yard setback regulations exceeds the capacity of the Development Officer to approve as per Section 2.15(1).

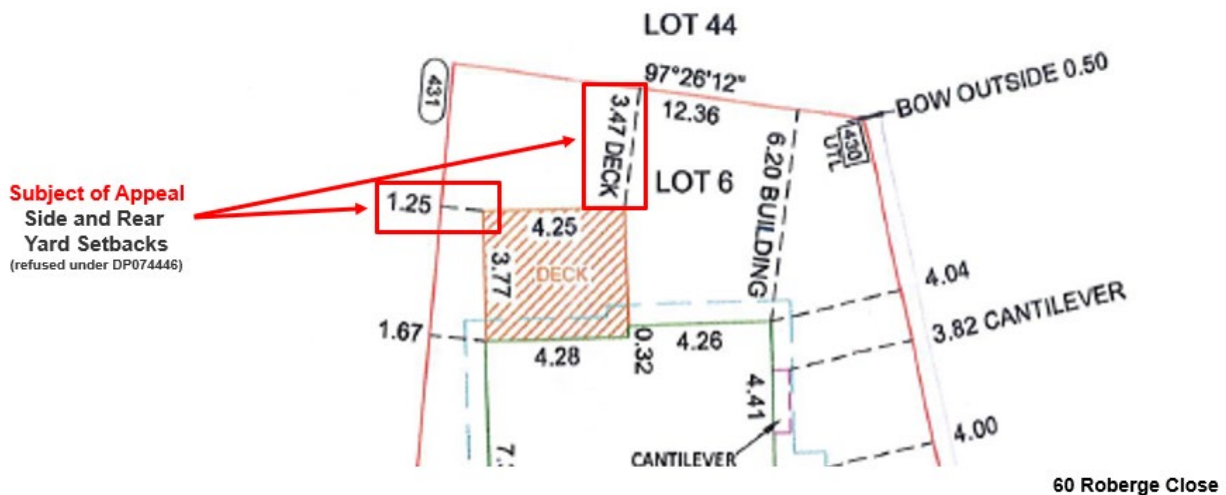


Figure 1: Proposed Setbacks

It may interest the Board to note the following:

- Apart from the setback regulations, the development otherwise complies with the regulations of Land Use Bylaw 18/2024.
- The existing dwelling was approved on April 11, 2018, with a variance to relax the required 1.8 m side yard setback to the previous 1.5 m setback due to a change in the Land Use Bylaw effective February 9, 2018.
- The existing deck was approved on April 11, 2018, at 0.71 m at the highest point and meets the required setback for an uncovered, unenclosed deck.
- An application to cover the rear attached deck was refused on June 28, 2018, because the variance required to approve the development exceeded the capacity of the Development Authority to grant. The Development Authority does not have record of an appeal for the 2018 covered deck application.

Should the Board grant the Appeal, the Development Authority respectfully requests the following conditions to be applied to the decision:

Development Permit Conditions:

1. The Subdivision and Development Appeal Board approves an addition to a single detached dwelling within the Low Density Residential (LDR) District.
2. This approval authorizes the addition to be built 1.25 m to the west side property line, whereas section 5.2(10)(b)(i) of Land Use Bylaw 18/2024 requires a side yard setback of 1.80 m.
 - a. Required side yard setback: 1.80 m
 - b. Proposed side yard setback: 1.25 m
 - c. Variance required: 0.55 m (30.56%)
3. This approval authorizes the addition to be built 3.47 m to the rear yard property line whereas section 5.2(10)(c)(i)(A) of Land Use Bylaw 18/2024 requires a rear yard setback of 6.00 m.
 - a. Required rear yard setback: 6.00 m
 - b. Proposed rear yard setback: 3.47 m
 - c. Variance required: 2.53 m (42.17%)
4. The exterior finishes of the approved development shall match or compliment the exterior finishes of the existing dwelling.
5. The exterior finishes must be completed within two (2) years of the date of development permit approval.
6. The development shall be constructed in accordance with the stamped, approved plan(s).
7. Any proposed changes in design, elevation or site plan configuration shall first be submitted for review by the Development Authority and any such changes shall not be undertaken until written authorization is provided by the Development Authority.

Development Permit Notes:

- a) A person applying for, or in possession of, a valid development permit is not relieved from full responsibility for ascertaining and complying with or carrying out development in accordance with the conditions of any covenant, caveat, easement or other instrument affecting the building or land.
- b) The applicant shall be responsible for compliance with all applicable Federal, Provincial and Municipal laws, regulations and standards, as well as ensuring compliance with, and be responsible for obtaining, all applicable permits, licenses and approvals, at its own expense.
- c) All construction must conform to the relevant requirements of the Alberta Building Code, the City of St. Albert municipal engineering standards and all applicable codes, laws, regulations, and standards.
- d) The City of St. Albert does not conduct independent environmental checks of land within the city. If you are concerned about the suitability of this property for any purpose, you should conduct your own tests and reviews. The City of St. Albert, in issuing this development permit, makes no representations and offers no

warranties as to the suitability of the property for any purpose or as to the presence or absence of any environmental contaminants on or within the property.

- e) The city property on or adjacent to development including but not limited to; the existing sidewalk, curb and boulevard features shall be protected from damage throughout the construction process. Damage caused by the owner, builder, tradesman, or suppliers shall be repaired to the satisfaction of the City of St. Albert Engineering Services. An inspection of the existing site conditions must be completed by city staff prior to commencement of the work. All snow and debris shall be removed from the sidewalk areas for the inspection. If necessary, a city representative will contact the applicant and request the site be cleared for inspection, prior to demolition and commencement of construction.
- f) An on-street construction permit is required for any construction taking place on City property including but not limited to driveway construction. Contact Engineering Services at 780-459-1654 to obtain the permit.
- g) Construction sites are to be kept clean and free from debris while the site is under construction.



Megan McNab
Development Officer I
City of St. Albert

Attachments:

1. Development Permit Refusal Decision
2. Development Permit Submission Package (Site Plan, Elevation Drawings)



Development Permit Decision

Application Number: DP074446
Land Use District: LDR
Property File Number: 18055.60

Municipal Address
60 ROBERGE CL

Legal Description
PLAN 1820713;BLOCK 2;LOT 6

Type: DP RES ALTERATION/ACCESSORY - ACCESSORY
Proposed Use: ENCLOSURE OF EXISTING DECK

Applicant:
SERVEDIO, GIUSEPPE
ST ALBERT AB T8N 7W3
60 ROBERGE CL

Owner of Land:
SERVEDIO, GIUSEPPE
60 ROBERGE CL
ST ALBERT AB T8N 7W3

Decision:
REFUSED

Decision Made By:
MEGAN MCNAB

Conditions

1. Development Permit application for a screened and covered deck (addition to a single detached dwelling) is REFUSED.

As per Land Use Bylaw 18/2024 section 5.2(10)(b)(i), a principle dwelling on a lot over 12.50 m wide is required to meet a side yard setback of 1.80 m.

- Required side yard setback: 1.80 m
- Proposed side yard setback: 1.25 m
- Variance required: 0.55 m (30.56%)

As per Land Use Bylaw 18/2024 section 5.2(10)(c)(i)(A), a principle dwelling is required to meet a minimum rear yard setback of 6.00 m if there is an attached garage located on the lot.

- Required rear yard setback: 6.00 m
- Proposed rear yard setback: 3.47 m
- Variance required: 2.53 m (42.17%)

In accordance with section 2.15(1), the variances required to the side and rear yard setbacks exceed the capacity of the Development Officer to approve.

2. NOTE: Be advised that you may appeal this Development Permit decision to the Subdivision and Development Appeal Board (SDAB). Appealing a decision is a time-sensitive process and must be appealed within the Municipal Government Act legislated time frame. More information is available on the City's website: <https://stalbert.ca/dev/planning/subdividing/appeals/>

Questions can be directed to: SDABSubmissions@stalbert.ca

Apr 30, 2026
Decision Date


Development Officer

Important Notices

1. This Development Permit DOES NOT take effect until:

- a) The date of its issue, if it is issued by Council with respect to a development in a Direct Control District;
- b) The expiration of the Appeal period, if it is issued by the Development Officer, unless an Appeal is made to the Subdivision and Development Appeal Board; or
- c) If an Appeal is made, the date the Appeal is finally determined and a written decision is issued.

2. Development Permit Deemed Refused

An application for a development permit is, at the option of the applicant, deemed to be refused if the decision of a development authority is not made within 40 days of receipt of the application unless the applicant has entered into an agreement with the development authority to extend the 40-day period.

3. Right of Appeal

For further information regarding the Appeal Process, please visit the City of St. Albert Website under Subdivision and Development Appeal Board, appealing a Decision page, to obtain the required forms and directions for filing your appeal. If you have further questions please email:
sdabsubmissions@stalbert.ca

4. This is NOT a Building Permit

The issuance of this Development Permit does not preclude the requirement for a Building Permit, which must be obtained separately. For information regarding Building Permits, please contact the *City of St. Albert Building Inspection Branch* at 780-459-1654.

5. Responsibility of Applicant/Developer (Check your Certificate of Title)

A person applying for, or in possession of, a valid development permit is not relieved from full responsibility for ascertaining and complying with or carrying out development in accordance with the conditions of any caveat, easement or other instrument affecting the building or land.

6. Dial Before You Dig (Think Safety!)

If your development involves digging or excavation, please contact Utility Safety Partners (formerly *Alberta One-Call*) at 1-800-242-3447 before you start in order to locate any utility lines on your property.

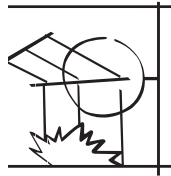
7. Expiry of a Development Permit

A development permit ceases to be in effect if the development for which the permit is issued has not commenced within 24 months from the date of issuance; or The *development* for which the *Development Permit* is issued has commenced but no physical work to complete the *development* has occurred for a period of 12 months.



5 St. Anne Street
St. Albert, Alberta T8N 3Z9

Phone: 780-459-1642
Email: development@stalbert.ca

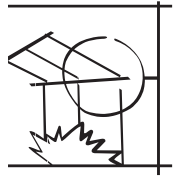


SUNCOAST

ENCLOSURES™



Front



SUNCOAST

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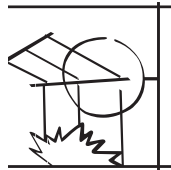
eavestrough Interlocking Roof Board

screen

7' 6"

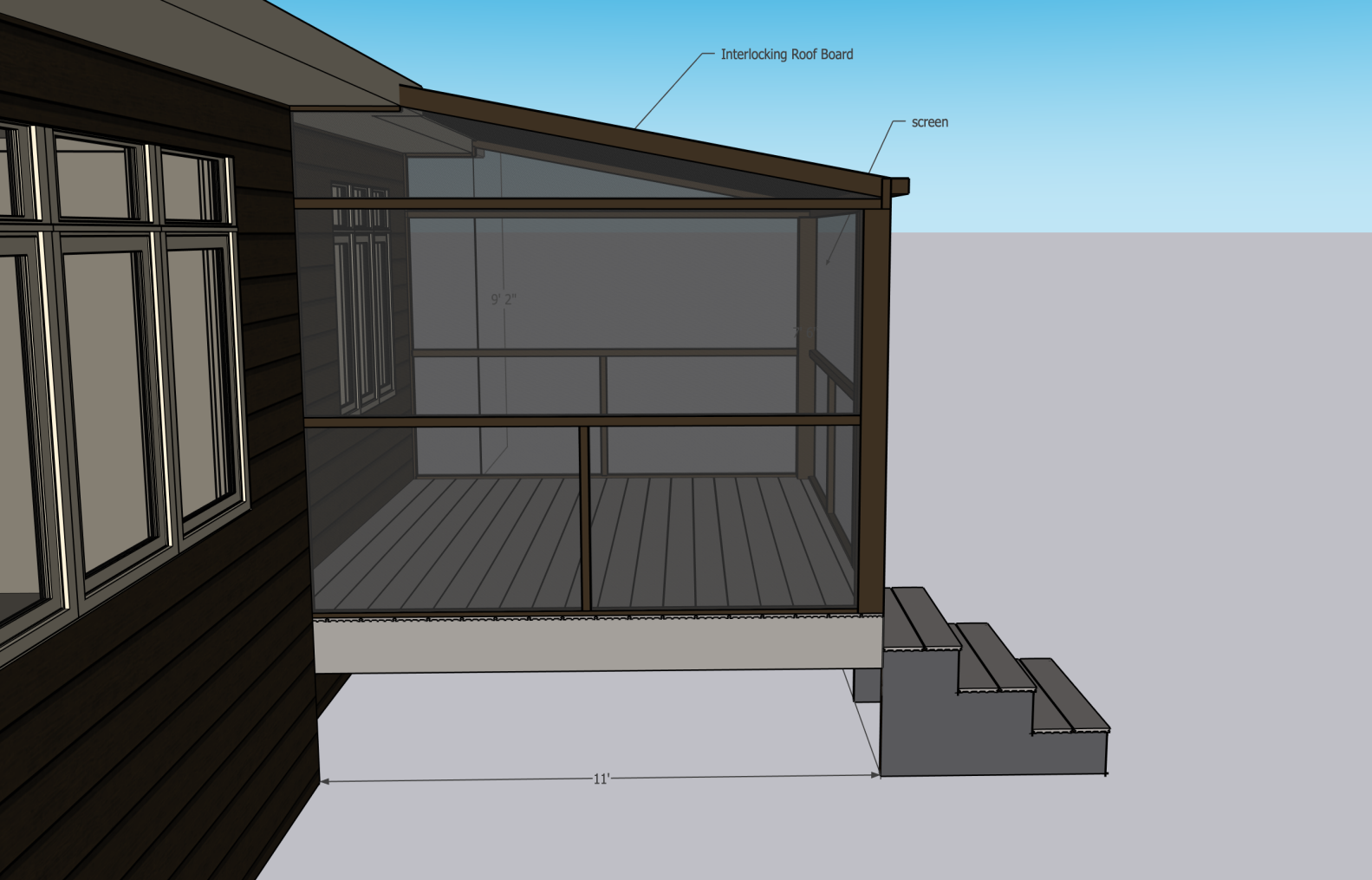
12'

Right



SUNCOAST

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Left